



## STATE HISTORICAL BUILDING SAFETY BOARD

### Committee Appeal Packet for 53385 Pioneer Town Road, Pioneertown, CA 92268

Date: 3/27/2025

Note: All information contained herein has been provided by the appellant and the County of San Bernardino and has not been modified by staff. The information has been organized by staff for ease of reference by the committee. Page numbers justified lower left reference page numbers for the purpose of this packet. Other page numbers may exist for other purposes as this packet is a compilation of several documents

## HISTORICAL BUILDING CODE APPEAL

This form shall be completed by any appellant adversely affected by regulation, rule, omission, interpretation, decision or practice relating to the Title 24 Part 8, California Historic Building Code pursuant to Health and Safety Code 18960. Provide a brief description of the qualifying historic nature of the facility, a detailed description of the issue being appealed including code references, the historic use, present use and proposed use of the building or facility, and why the appellant asserts statewide significance of the issue. Attach additional documentation as necessary to explain the issue and support the appeal.

Building/facility Owner: Joseph D. Santiago		Building Permit #: SFR-2021-00730	
Local Authority Having Jurisdiction: San Bernardino County			
Project Name: Hi Point House (Main House 1926), Leatherman House (ADU 1890), Garage (1914)			
Project Street Address: 53385 Pioneertown Road			
City: Pioneer Town		CA	Zip: 92268
Date Appeal Submitted: 02/10/2025		Applicable Code Sections:	
Attached pages?: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes ( _____ pages)			
<b>APPELLANT</b>			
Name: Joseph D. Santiago		Contact Name: Same	
Email: graphicviolencedesn@yahoo.com		Phone Number (714) 206-1965	
<b>DESIGN PROFESSIONAL</b>			
Name of Design Professional in General Responsible Charge:			
Professional License #: N/A		N/A	
Signature: N/A _____ <i>DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE</i>			
<b>DESCRIPTION OF QUALIFYING HISTORIC ASPECTS OF PROPERTY</b> (Refer to California Historic Building Code Chapter 8-2 Definitions, if available include the historic structures report for the facility, attach additional pages if necessary)			
<p><b>Project consists of three historic structures, Main House, ADU and Garage. All are out of county move-ons, dissected for long distance transport. Plans were approved multiple times by multiple staff, including previous Directors, from 2021-23. Reconstruction efforts are well under way, with multiple inspections passed.</b></p> <p><b>Hi Point House: 99 years old, high style Greek Revival Craftsman, no mods, 20s development of So Cal, moved once before (LA Co has no list, no DPRs) Present/past use: SFR. STATUS: Moved onto site, reassembled on new foundation with reconstructed subfloor, stabilized and stitched back together with roof left unfinished and uncovered by County order. Last inspection, for subfloor, passed 11/7/2024.</b></p> <p><b>Leatherman House: 125+ years old, Colonial Revival Craftsman, few mods, Charles Leatherman home, turn of century development of So Cal, moved once before. (local DPR and Survey List attached). Present/past use: SFR/ADU. STATUS: Foundation poured and block partially set, waiting move-on. Currently stored offsite.</b></p> <p><b>Garage: 110 years old, Bungalow Craftsman, no mods, turn of century development of So Cal, (local DPR and Survey List attached) STATUS: Foundation poured/complete, awaiting move-on. Currently stored offsite.</b></p>			

**HISTORICAL BUILDING CODE APPEAL**

**DESCRIPTION OF ISSUE BEING APPEALED** (Include specific code references and any related regulation, rule, omission, interpretation, decision or practice being appealed and include the historic use, present use and proposed use of the building or facility. Attach additional pages if necessary).

The San Bernardino County Building and Safety Department (SB Co) unlawfully revoked the building permits for the three structures listed above. Unabated, this would result in the ordered removal/demolition of the historic structures. The SB Co Building and Safety Board of Appeals (SB Board) heard the appeal and took action without consult to obtain review with SHBSB. The following Codes and details are most relevant.

**HEALTH AND SAFETY CODE – HSC  
DIVISION 13. HOUSING [1700-19997]**

**PART 2.7.STATE HISTORICAL BUILDING CODE [18950-18962]**

**HSC 18954 "The building official of every... County... shall apply... pursuant to Section 18959.5 in permitting... moving or continued use... of a qualified historical building or structure."**

SB County Staff admitted no knowledge of CHBC's existence until months after taking action on property/project. Staff currently profess contrary opinions formed from "phone call to DSA"- not CHBC itself or SHBSB members or SHBSB Staff. SB County Staff made no effort to educate themselves on use of CHBC. Previous Staff accepted Historic Structures as such 3 times each and a Code Enforcement mediator determined the Hi Point House structure, specifically, eligible for CHBC protections in 2020.

**HSC 18961 "... and shall consult with the State Historical Building and Safety Board to obtain its review prior to undertaking action or making decisions on variances or appeals that affect qualified buildings or structures"**

SB County Staff made no effort to contact SHBSB before taking action to revoke permits, nor did the SB County Building and Safety Board in making its appeal decision to demand plan resubmittal and approval within 90 days or revocation stands. Staff gave "no construction, no activity" order in guise of board decision. No activity for protecting structures has resulted in water damage from recent atmospheric river storm systems.

No prior consult with SHBSB makes any action taken unlawful.

**California Historical Building Code (CHBC)**

**8-102.1.2 Relocation.**

**8-102.1.5 Unsafe buildings.**

**8-103.1 Authority. "local enforcing agency... shall apply... moving or continued use... "**

**8-105.1– Repairs. "in-kind... original or historic methods"**

**8-218 – Q QUALIFIED HISTORICAL BUILDING PROPERTY "or determined eligible for..."**

**8-303.7 Alteration and repair. "continued use of original methods... , amount... is not limited... "**

**8-801.3 Scope "new materials... to match existing conditions."**

**Chapter 8-9 MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS**

SB County has no laws preventing out-of-county move-ons, historic or otherwise.

SB County has refused to even look at revised plans due to their compliance with CHBC prevailing, not CBC only. Even with full DPRs and Local Survey Lists for the ADU and Garage, they refuse to accept legitimate proof or acceptance thereof made by previous staff members and CE mediator, multiple times. Staff have made wild claims that previous submittal was for "a foundation only" when each of the permitted plan sets clearly indicate "Historic Preservation Project... Move-on" with "CHBC" prevailing at the top of the code list. Proof of historicity was also submitted and accepted for all 3 structures by previous Staff at Director levels in three departments- Planning, B&S and CE.

SB County Staff began Revocation Action before even visiting the site with arbitrary scheduling decisions to rush the project to completion. B&S Director and senior Staff member made 1<sup>st</sup> visit 6 weeks later. Immediately on arrival, Staff member announces "The Board of Supervisors is on this- so you better take it seriously!"

**HISTORICAL BUILDING CODE APPEAL**

Director winces and shoots him a withering look and he mumbles “ we should probably keep that between us... .” Director agrees. I sent email confirming those facts and most of the relevant conversation, asking for correction. Director obfuscated, did not deny. Onsite, both told me to ignore half the order, regarding the ADU and garage, because they’re not yet on site. Staff kept the deadline, with the ADU, anyway. Both said “Just make progress.” I made significant progress on the first of two deadlines but was halted by the permit revocation well before the second deadline arrived. Had the schedule been considered with the CHBC in mind, I could have met the last deadline. The most telling oddity is the lack of any mention/concern, even two months in, with historicity issues, the materials and methods issues or any plan submittal issues. Just “Get it all done by the deadlines.” The later issues seemed to be backfill for overkill. Combined with their comments about the Board of Supervisors, it all seems grotesquely political and highly unlawful.

**PREFERRED OUTCOME OF SHBSB APPEAL:**

Nullify/vacate unlawful action of SB County Staff and of SB B&S Board

Confirm historic status and protections for all three structures.

A return to open status permits for all 3 structures. Standard 180-day renewal with inspections passed.

A return to 1 structure passes-all 3 structures pass status for inspections and following 180 days.

An order to SB County to educate Staff on actual meaning and implementation of CHBC.

An order to SB County to cooperate with this project and future historic projects using broad interpretation of CHBC to meet the spirit of the law– making historic preservation projects easier and more cost effective while maintaining reasonable safety.

**DESCRIPTION OF STATEWIDE SIGNIFICANCE** (Provide a description of why the appellant feels there is a statewide significance related to the issue. Attach additional pages if necessary).

**HISTORICAL BUILDING CODE APPEAL**

There are several Issues of Statewide Significance at stake here:

1. What is the meaning of "... determined eligible for listing... ", in CHBC 8-218 – Q? By whom? In the complete absence of a local list or even program, as is the case with SB County, who or what determines eligibility? A preservation expert or professional? A Code Enforcement Mediator, a CE Director, a Planning Director and a B&S Director– as was the case with the permits prior here?

We think the determination For the Hi Point House has already been made officially in several ways here– previous Staff, at Director level, in every department, for each structure, multiple times. CE Mediator as well. Otherwise it should be, an historic preservation expert whether volunteer or professional or a municipal historic preservation board guided by an officially adopted preservation program. The Leatherman House and the Garage are already well documented with irrefutable proof.

2. Does a structure’s historicity evaporate when it is moved (pretty sure this is a NO)? What about when it moves to a different jurisdiction? Can it only be reevaluated by the new jurisdiction? Only the old one?

We think it is ridiculous to interpret any CHBC code section this way. Especially when “moving” is supported so prominently in so many sections of the code. SB County in particular has no laws against moving in and no preservation program of any kind or at any level. Moved historic resources properly sited are of value to any community to which they are relocated and restored.

3. Can a property that’s been locally listed be delisted even if it hasn’t lost any of its original features or has actually regained some original features as with the ADU in this case (overlaid siding removed exposing original RW double lap)? Can a new Muni delist or disqualify another Muni’s listing because its been relocated there?

We think the historicity travels no matter where within the state the resource is moved to. Southern California, especially in the period of these structures, was literally crawling with moved houses. The rapid development of farms to suburbs and the expansion of industries like oil extraction put thousands of homes on the move. Both the Hi Point House and the Leatherman House had already been moved at least once each.

4. Is an officially adopted local historic survey listing required to be updated regularly? Can such a survey expire as SB County Staff have contended? Does a new survey negate an older one? An update?

We know from experience that surveys are generally expanded and updated to account for demolitions and newly qualified structures, NOT to delist already qualified structures. The CHBC is designed to encourage preservation by making it more accessible, less expensive and easier, while maintaining reasonable safety.

5. Can Muni Staff take action against a permitted historical move-on restoration project without consulting the SHBSB, as SB County has here, or does the historic property owner have to move to the appeal level to trigger the law? And what if the Staff action will allow harm to the historic resource, as it has here, before any kind of appeal is heard? What if the Muni doesn’t have a B&S Board or any Board of Appeals?

We think this is a big NO. The HSC is clear that taking action against a qualified historic structure with no prior consult with the SHBSB is unlawful at any level -especially if it will cause harm to the resource.

We expect some of these issues may have already been adjudicated. Others likely not. We request clarity and favorable action on all of them. Thank you.

Sincerely  
Joseph D. Santiago



**HISTORICAL BUILDING CODE APPEAL**

**HISTORICAL BUILDING SAFETY BOARD**

Meeting date:

**DESCRIPTION OF FINAL DECISION/INTERPRETATION** (attach additional pages if necessary)

**Technical Response:**

**Appeal Decision**

**Approve**

**Disapprove**

**Date:**

**DESCRIPTION OF FINAL DECISION/INTERPRETATION** (attach additional pages if necessary)

Historical Building Safety Board Chairperson (or Vice chairperson):

Printed Name:

Signature:



## STATE HISTORICAL BUILDING SAFETY BOARD

# Building Permit and San Bernardino County Building and Safety Appeals Board Report



## RESIDENTIAL NEW CONSTRUCTION PERMIT

**Permit Information:**

Permit No. SFR-2021-00730

Site Address: 53385 PIONEERTOWN RD, PIONEERTOWN, CA 92268

Issuance Date: 09/28/2022

Expiration Date: 3/27/2023

**Owner:**

SANTIAGO, JOSEPH D

403 10TH ST

HUNTINGTON BEACH, CA 92648

**Description of Work:**

RELOCATE SINGLE FAMILY RESIDENCE OF 1604 SQ FT LIVABLE

(Detached ADU Submitted Under: SFR-2021-00731

Detached Garage Submitted Under: ACCR-2020-00334)

**Building Official:**

Greg Griffith

**Date:** 09/28/2022

Expiration and Refund Notice: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the suspended or abandoned for a period of 180 days. Fees paid are not refundable after (1) year from the date of payment. All fees paid may not be refundable.



# BUILDING AND SAFETY APPEALS BOARD REPORT

**HEARING DATE: February 3, 2025**

**AGENDA ITEM # 2**

Project Description

**APN:** 0594-201-09-0000  
**Appellant:** Joseph Santiago  
**Representative:** Joseph Santiago  
**Community:** Pioneertown  
**Location:** 53385 Pioneertown Rd. Pioneertown, CA 92268  
**Project No.:** BMISC-2024-00138  
**Staff:** Greg Griffith, Engineering Manager, Building & Safety  
 Matthew Weise, Administrative Supervisor, Building & Safety

**Proposal:** An appeal of the revocation of building permits SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334

Vicinity Map



**SITE INFORMATION**

**Parcel Size:** 1.26 acres  
**Zoning:** SD-Res/RL (Special Development/Residential Rural Living)  
**Terrain:** Flat  
**Vegetation:** Native grass

**SURROUNDING LAND DESCRIPTION:**

AREA	EXISTING LAND USE	LAND USE CATEGORY	LAND USE ZONING DISTRICT
Site	Single Family Residence	Rural Living (RL)	Special Development – Residential (SD-RES)
North	Livestock Ranch	Rural Living (RL)	Special Development – Residential (SD-RES)
South	Vacant	Rural Living (RL)	Special Development – Residential (SD-RES)
East	Single Family Residence	Rural Living (RL)	Special Development – Residential (SD-RES)
West	Vacant	Rural Living (RL)	Special Development – Residential (SD-RES)

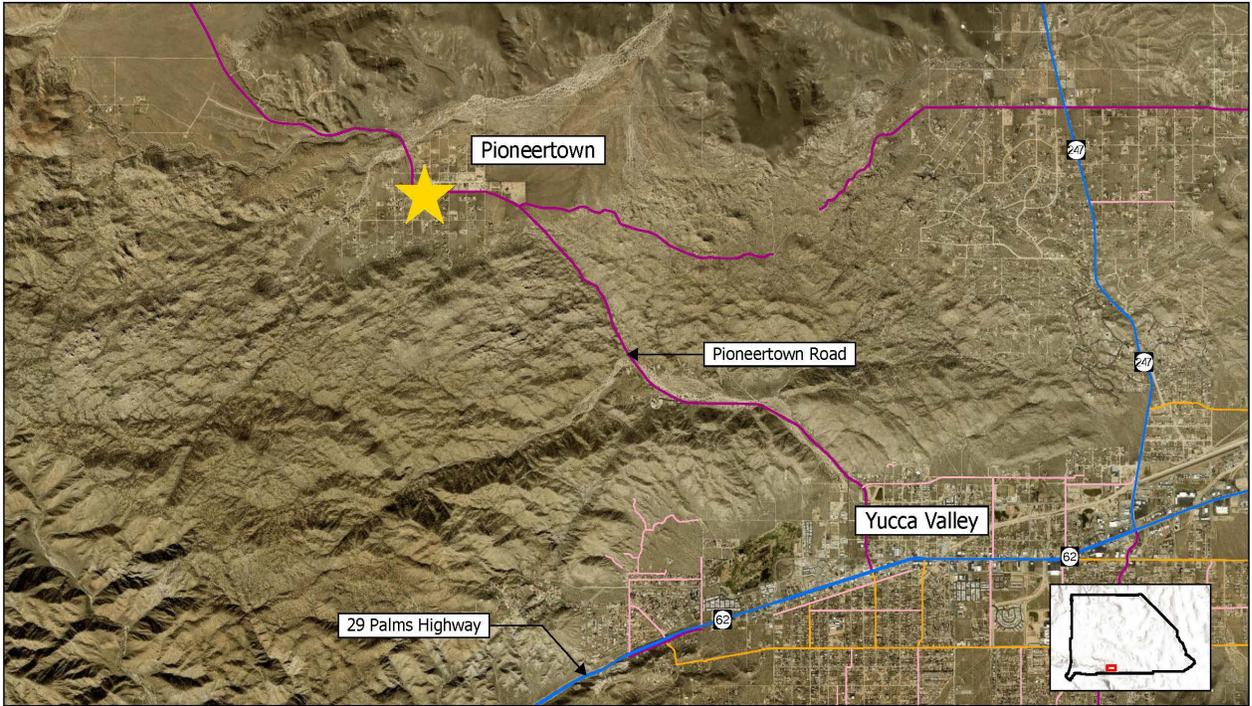
**AGENCY**

Community: Pioneertown  
 Water Service: Mojave Water Agency  
 Sewer Service: N/A

**STAFF RECOMMENDATION:** The Board of Appeals sustains the Building Officials decision to revoke Building Permit(s) SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334

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# REGIONAL MAP



53385 Pioneertown Road

★ APN: 0594-201-09

- Freeway
- Highway
- Major Arterial
- Minor Arterial
- Controlled/Limited Access Collector



# VICINITY MAP



53385 Pioneertown Road



-  APN: 0594-201-09
-  Parcels



**Existing Primary Residence**  
**SFR-2021-00731**  
**View 1: Looking West**

11/07/2024



**Existing Primary Residence  
SFR-2021-00731  
View 2: Looking South**

11/07/2024



**Existing Primary Residence**  
**SFR-2021-00731**  
**View 3: Looking East**

11/07/2024



**Existing Primary Residence**  
**SFR-2021-00731**  
**View 3: Looking Northeast**



**Accessory Dwelling Unit**  
**SFR-2021-00730**



**Detached Garage**  
**ACCR-2020-00202**



## **APPELLANT REQUEST**

This is an appeal filed by Joseph Santiago (Appellant) for the revocation of Permit No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 (Permits). As part of the appeal, the appellant requests the following actions:

1. Return the permits to Issued status.
2. Maintain “one pass, all pass” status.
3. Return to normal schedule (180 days on passing inspection).
4. Close Code Enforcement case #C201903524.

## **SUMMARY OF APPELLANT ASSERTIONS ON APPEAL**

1. Revocation of permits conducted without consideration of the California Historic Building Code (CHBC).
2. All three (3) structures are subject to the protection of CHBC.
3. Lack of extensions of time.

## **BUILDING PERMIT ANALYSIS**

The Building Official revoked the Permits based on California Building Code (CBC) Section 105.6, which provides, in relevant part, that “[t]he building official is authorized to ... revoke a permit ... wherever the permit is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.” As detailed below, the Building Official found that the latest extension for the Permits were issued in error and on the basis of incorrect, inaccurate or incomplete information regarding the justifiable cause alleged by the Appellant and should have expired due to the lack of activity and progress at the project, or, alternatively, that the nuisance conditions occurring at the property in violation of the San Bernardino County Code (SBCC) authorized revocation of the Permits. The Appellant disputes the Building Officials’ decision to revoke the Permits and asserts that the project was not abandoned and that complications regarding the historic nature of the structure was justifiable cause to extend the permits and that nuisance conditions did not exist at the property.

In October 2019, San Bernardino County, Land Use Services Department (LUS), Code Enforcement Division (Code) received and responded to complaints pertaining to mobile home sections placed on a vacant lot in the Pioneertown area. The subject property is addressed at 53385 Pioneertown Road (APN 0594-201-09-0000). In subsequent weeks, Code received additional complaints alleging more mobile home sections, illegal grading activity, work being performed without permits, and debris deposited on the property.

Since the inception of this case in 2019, LUS staff has spent a significant amount of time assisting the Appellant to address the issues surrounding the completion of the project. Staff has also made had many interactions with community stakeholders. These activities include, but are not limited to, conversations with concerned community members, onsite meetings with the Appellant, more than ten onsite/field investigations by various LUS staff, the issuance of two Notices of Violation, and two citations (one of which was overturned).

In 2019 and 2020, the Appellant applied for necessary building permits, which stayed further action on the Code compliance case. Three building permits were requested:

- SFR-2021-00730 For the primary single-family residence (SFR).
- SFR-2021-00731 For an accessory dwelling unit (ADU).
- ACCR-2020-00334 For a detached garage.

The Building and Safety Division (B&S) approved and issued the Permits in late September of 2022, more than a year after the initial submittal and three years after the initial code case was opened.

The permits for all three structures were approved provided upon the units showing up on site as a single structure fully intact. However, this did not happen. The SFR was transported to the subject site via flatbed in four different sections and without a roof. Furthermore, the ADU and garage remain off-site and have not been evaluated by B&S staff.

B&S estimate that on average, construction of a project of this nature usually takes 120 to 180 days (4 to 6 months) from start to completion once building permits have been obtained. For the past five years, however, the SFR structure has been on the property in pieces, improperly supported, and with no protection from the harsh desert environment (snow, rain, sun, and heat). As a result, the dilapidated sections are significantly compromised, creating a public safety hazard, and are a source of blight on the community in violation of the SBCC.

Due to the lack of progress, on September 17, 2024, the Building Official issued a Notice of Intent to revoke the permits based on CBC Section 105.6. This Notice (refer to Exhibit 5) highlighted the considerable lapse of time and lack of progress occurring on the project, the nuisance conditions created by the project, and identified a 60 and 90 day timeline by which to achieve specific milestones towards project completion to avoid revocation. Site inspections were conducted after the identified dates and confirmed that the Appellant failed to meet the time expectations, thus resulting in the revocation of the permits in November of 2024.

### **BUILDING OFFICIAL DETERMINATION**

To apply the 2019 California Historical Building Code (CHBC), the structure under consideration must be qualified by being designated as a historical building or structure, per HSC Section 18955. Not one structure is registered as a qualified historical building and the appeal of such determination can only be heard by the State Historical Building Safety Board (SHBSB).

Existing structure in its current condition represents an imminent threat to life, health, and safety in Violation of the SBCC, including but not limited to, CBC section 116.1. The existing residential structure currently on-site has been exposed to and unprotected from weather elements since delivery on or about 11/06/2019. The structure does not conform to the approved plans, and or revisions submitted to, and approved by, B&S. Upon further inspection it was determined, the description of work, the on-site conditions, and work product, are misrepresented or not done in a workmanship like manner. Additionally, the appellant was granted previous extensions and failed to make adequate progress to cure the nuisance conditions. For these reasons pursuant to CBC section 105.6, the permits were revoked.

### **OPTIONS FOR THE BUILDING AND SAFETY APPEALS BOARD**

**Option 1:** Deny the appeal and adopt the proposed findings and written determination for upholding the Building Officials' decision to revoke permit no. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334. Authorize the Chair of the Appeals Board to execute the written decision and to make non-substantive edits as needed (refer to Exhibit 11).

**OR**

**Option 2:** Grant the appeal and adopt the proposed findings and written determination for setting aside the Building Officials' decision to revoke permit no. SFR-2021-00730, SFR-2021-

00731, and ACCR-2020-00334. Authorize the Chair of the Appeals Board to execute the written decision and to make non-substantive edits as needed (refer to Exhibit 12).

### **COUNTY RECOMMENDATIONS**

Uphold the Building Officials' decision for permit expiration.

### **ATTACHMENTS**

Exhibit: 1 Code Case/Building Permit Chronology

Exhibit: 2 Applicable Codes

Exhibit: 3 Plans for SFR-2021-00730 (primary residence)

Exhibit: 4 Plans for SFR-2021-00731 (ADU)

Exhibit: 5 Notice of Intent to Revoke Permits(drafted 9/17/2024)

Exhibit: 6 Notice of Permit Revocation (drafted 11/20/2024)

Exhibit: 7 Inspection History SFR-2021-00730

Exhibit: 8 Inspection History SFR-2021-00731 pages 1&2 of 5

Exhibit: 9 Extension Request

Exhibit:10 Appellant Appeal Request

Exhibit: 11 Findings With Written Determination

Exhibit: 12 Findings With Written Determination

# **Exhibit 1**

## **Code Enforcement Case C201903524**

**10/23/2019** a complaint was received concerning unpermitted grading and the placement of two to four mobilehome(s) on the property.

**10/29/2029** Inspection conducted of the property. The officer identified four structures on trailers, construction materials, junk and trash. The officer determined the parcel was listed as vacant with no legal primary/approved use.

**11/06/2019** Notice of Violation was issued for violation of SBCC 82.02.02(b) Unpermitted Land Use – Prohibited storage of trailers, structures and other item without proper approvals.

**12/10/2019** Inspection conducted of the property. The officer identified four trailers loaded with wooden structures, construction materials, junk and trash.

**12/13/2019** Research by Code Enforcement determined that no approval/primary use had been obtained for the storage on the property.

**12/23/2019** Administrative Citation C190010080 was issued for violation of SBCC 82.020.02(b) Permit Approval Required.

**03/09/2021** Permit research finds all permits expire for a Single-Family Residence, Accessory Dwelling and Relocation of a Detached Garage.

**03/09/2021** Inspection of the property conducted. Officer finds halves of a mobile home placed on jacks that appear unstable. Additionally, a container and piles of debris were also observed.

**05/13/2021** Notice of Violation issued for IPMC 108.1.4 Unlawful Structure- Unpermitted Structures expired permits for Single Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container, IPMC 108.1.5(7) Dangerous Structure on Premises – Attractive Nuisance unsecured structure and possible collapse hazard and IPMC Garbage- construction material, junk and trash.

**08/10/2021** Notice and Order to Repair issued for IPMC 108.1.5.4 Dangerous structure or premises- unstable structure, IPMC 108.1.5.6 Dangerous structure or premises – unsafe for occupancy, IPMC 108.1.5.7 Dangerous structure or premises – attractive nuisance unsecured

structure, IPMC 108.1.5.11 Dangerous structure or premises – attractive nuisance/ public hazard unsecured structure.

**07/11/2023** Inspection of the property conducted. Officer observes dilapidated structures and cargo container on the property.

**07/23/2023** Notice of Violation issued for IPMC 111.1.4 (2021) Unlawful Structures expired permits for Single Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container. SBCC 82.020.02(b) Permit Approval Required no primary use.

**11/18/2024** Inspection of the property conducted. Code Enforcement Officer observes dilapidated structures on the property and cargo container.

**11/22/2024** Notice of Violation issued for IPMC 111.1.4 (2021) Unlawful Structures Unpermitted Single-Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container. SBCC 82.020.02(b) Permit Approval Required no primary use.

#### **Building Permit History ACCR-2020-00202 (Garage)**

**05/20/2020** Application filed.

**09/29/2022** Permit issued.

**10/17/2022** Setback, Foundation Reinforcing Steel, and Slab Grade, Approved.

**01/30/2024** Permit expired for no activity.

#### **Building Permit History SFR-2021-00730 (Primary Residence)**

**08/11/2021** Applications filed.

**09/28/2022** Permit issued.

**10/17/2022** Setbacks, pass. Footing and steel, partial approval.

**03/17/2023** Mid-height bond beam, partial approval.

**08/22/2023** First permit extension 180 days.

**01/26/2024** Foundation reinforcing steel. Corrections

**02/28/2024** Foundation reinforcing steel. Partial approval, correction no BMP in place.

**08/15/2024** Second 180-day extension granted.

**08/15/2024** Application filed for BREV-2024-00753, revision for SFR-2021-00730 foundation connection modification.

**09/17/2024** Mailed Notice of Intent to Revoke letter for permits SFR-2021-00730/00731.

**11/07/2024** Cripple wall framing, partial approval.

**11/07/2024** A site visit with owner, Joesph Santiago conducted by John Neubert & Maged Soliman.

**11/15/2024** Site visit conducted by John Neubert for verification of compliance towards foundation work meeting 1<sup>st</sup> deadline date in Notice of Intent to Revoke letter.

**11/15/2024** Permits SFR-2021-00730 expired and locked for failure to comply with Notice of Intent to Revoke .

**11/15/2024** E-mail sent to the property owner with Final Notice of Permit Revocation letter attached.

**11/20/2024:** Final Notice of Permit Revocation letter sent, "Via certified mail".

**11/21/2024:** Second e-mail sent to the property owner with the Final Notice of Permit Revocation letter attached.

#### **Building Permit History SFR-2021-00731 (ADU)**

**08/11/2021** Applications filed.

**09/28/2022** Permit issued.

**10/17/2022** Setbacks, approved. Foundation reinforcing steel, partial approval.

**08/15/2024** First 180-day extension granted.

**10/25/2024** Application filed for BREV-2024-01000, revision for SFR-2021-00731.

**09/17/2024** Mailed Notice of Intent to Revoke for permits SFR-2021-00730/00731.

**11/07/2024** A site visit with the owner, Joesph Santiago conducted by John Neubert & Maged Soliman.

**11/15/2024** Site visit conducted by John Neubert for verification of compliance towards foundation work meeting 1<sup>st</sup> deadline date in Notice of Intent to Revoke letter.

**11/15/2024** Permits SFR-2021-00730 expired and locked for failure to comply with Notice of Intent to Revoke .

**11/15/2024** E-mail sent to the property owner with Final Notice of Permit Revocation letter attached.

**11/20/2024** Final Notice of Permit Revocation letter sent, "Via certified mail".

**11/21/2024** A second e-mail sent to the property owner with the Final Notice of Permit Revocation letter attached.

## **Exhibit 2**

### **APPLICABLE CODES**

**HSC Section 18955:** For the purposes of this part, a qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.

**HSC Section 18957:** Nothing in this part shall be construed to prevent authorized building or fire officials from the performance of their duties when in the process of protecting the public health, safety, and welfare.

**CBC Section 104.1:** The building official is hereby authorized and directed to enforce the provisions of this code. The building official shall have the authority to render interpretations of this code and to adopt policies and procedures in order to clarify the application of its provisions. Such interpretations, policies and procedures shall be in compliance with the intent and purpose of this code. Such policies and procedures shall not have the effect of waiving requirements specifically provided for in this code.

**CBC Section 104.9.1:** Materials that are reused shall comply with the requirements of this code for new materials. Used equipment and devices shall not be reused unless approved by the building official.

**CBC Section 105.4:** The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or of any other ordinance of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the building official

from requiring the correction of errors in the construction documents and other data. The building official is authorized to prevent occupancy or use of a structure where in violation of this code or of any other ordinances of this jurisdiction.

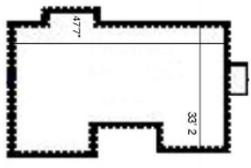
**CBC Section 105.6:** The building official is authorized to suspend or revoke a permit issued under the provisions of this code wherever the permit is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.

**CBC Section 116.1:** Structures or existing equipment that are or hereafter become unsafe, insanitary or deficient because of inadequate means of egress facilities, inadequate light and ventilation, or that constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or that involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. Unsafe structures shall be taken down and removed or made safe, as the building official deems necessary and as provided for in this section. A vacant structure that is not secured against unauthorized entry shall be deemed unsafe.







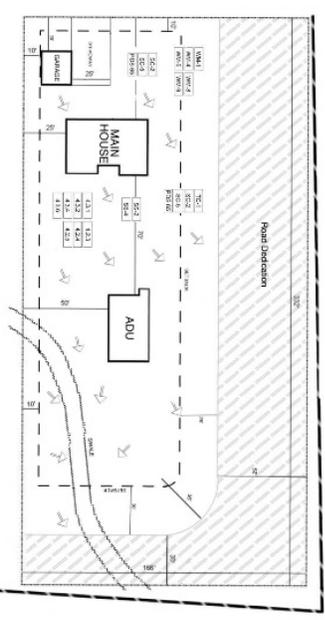


Impervious Area Plan

MOVE ON HISTORICAL STRUCTURE MAIN HOUSE

Proposed Land Disturbance Area 1,604 SQ FT

Pioneer Town Rd.



Tom Mix Tr.



HI POINT CATHARMAN HISTORIC PRESERVATION PROJECT PIONEERTOWN HOUSE MOVE-ON

JOSEPH D. SANTIAGO  
53385 PIONEER TOWN ROAD  
PIONEERTOWN, CA 92284

HI POINT HOUSE

BMP legend	INTENDED USE AND MANAGEMENT PRACTICES	DIRECTION OF IMPROVEMENT	bonded fiber matrix (BFM) notes	dust control notes	slope protection notes	storm water management notes
<p>SCOUR CONTROL BARRIERS</p> <p>3.2.1.1 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.2 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.3 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.4 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.5 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.6 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.7 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.8 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.9 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.10 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.11 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.12 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.13 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.14 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.15 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.16 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.17 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.18 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.19 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.20 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p>	<p>3.2.1.1 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.2 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.3 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.4 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.5 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.6 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.7 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.8 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.9 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.10 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.11 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.12 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.13 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.14 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.15 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.16 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.17 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.18 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.19 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p> <p>3.2.1.20 PROTECT EXISTING OR NEW SCOUR CONTROL BARRIERS</p>	<p>→</p>	<p>1. CONSTRUCTION OF BFM SHALL BE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:</p> <p>2. BFM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:</p> <p>3. BFM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:</p> <p>4. BFM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:</p> <p>5. BFM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:</p>	<p>1. DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>2. DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>3. DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>4. DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>5. DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p>	<p>1. SLOPE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>2. SLOPE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>3. SLOPE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>4. SLOPE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>5. SLOPE PROTECTION MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p>	<p>1. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>2. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>3. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>4. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>5. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p>

A3.0.1









## **Exhibit 4**



**\*\*INSERTED SHEET FOR SEPTIC APPROVAL ONLY\*\***

SFR-2021-00730 Septic plan only

County of San Bernardino  
 BUSINESS AND SAFETY  
**APPROVED**  
 THESE PLANS AND DETAILS ARE  
 THE APPROVAL OF THESE PLANS SHALL NOT  
 BE CONSIDERED TO BE A GUARANTEE FOR ANY  
 WORK OR FOR ANY LOSS OR DAMAGE OF ANY  
 KIND.  
 By: *[Signature]*  
 DATE: 12/20/21  
 THESE PLANS SHALL BE ON THE JOB FOR  
 ALL REQUESTED INSPECTIONS



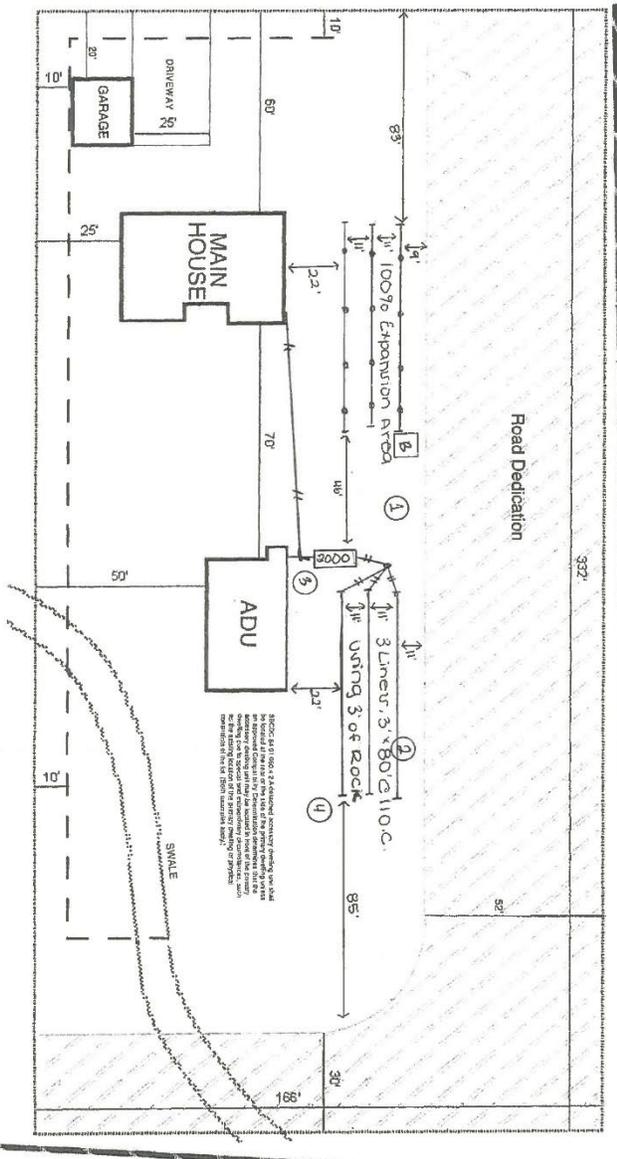
*[Handwritten Signature]* 42222

3 bump notes

landscape notes

general notes

landscape



Pioneer Town Rd.

A. General	B. Foundations and Foundations (Continued)	C. Wood Framing (Continued)	D. Roof Framing (Continued)	E. Metal Framing (Continued)	F. General Requirements (Continued)
<p>1. <b>General</b></p> <p>1.1. All construction shall conform to the provisions of the International Building Code (IBC) 2015 Edition, unless otherwise specified.</p> <p>1.2. All construction shall conform to the provisions of the International Residential Code (IRC) 2015 Edition, unless otherwise specified.</p> <p>1.3. All construction shall conform to the provisions of the International Mechanical Code (IMC) 2015 Edition, unless otherwise specified.</p> <p>1.4. All construction shall conform to the provisions of the International Fire Code (IFC) 2015 Edition, unless otherwise specified.</p> <p>1.5. All construction shall conform to the provisions of the International Energy Conservation Code (IECC) 2015 Edition, unless otherwise specified.</p> <p>1.6. All construction shall conform to the provisions of the International Plumbing Code (IPC) 2015 Edition, unless otherwise specified.</p> <p>1.7. All construction shall conform to the provisions of the International Electrical Code (IEC) 2015 Edition, unless otherwise specified.</p> <p>1.8. All construction shall conform to the provisions of the International Fire and Code Book (IFCB) 2015 Edition, unless otherwise specified.</p> <p>1.9. All construction shall conform to the provisions of the International Fire and Code Book (IFCB) 2015 Edition, unless otherwise specified.</p> <p>1.10. All construction shall conform to the provisions of the International Fire and Code Book (IFCB) 2015 Edition, unless otherwise specified.</p>	<p>2. <b>Foundations and Foundations (Continued)</b></p> <p>2.1. Foundations shall be constructed of concrete or masonry.</p> <p>2.2. Foundations shall be constructed on a firm, stable base.</p> <p>2.3. Foundations shall be constructed to resist lateral forces.</p> <p>2.4. Foundations shall be constructed to resist vertical forces.</p> <p>2.5. Foundations shall be constructed to resist uplift forces.</p> <p>2.6. Foundations shall be constructed to resist sliding forces.</p> <p>2.7. Foundations shall be constructed to resist overturning forces.</p> <p>2.8. Foundations shall be constructed to resist seismic forces.</p> <p>2.9. Foundations shall be constructed to resist wind forces.</p> <p>2.10. Foundations shall be constructed to resist snow forces.</p>	<p>3. <b>Wood Framing (Continued)</b></p> <p>3.1. Wood framing shall be constructed of kiln-dried lumber.</p> <p>3.2. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.3. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.4. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.5. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.6. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.7. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.8. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.9. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>3.10. Wood framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p>	<p>4. <b>Roof Framing (Continued)</b></p> <p>4.1. Roof framing shall be constructed of kiln-dried lumber.</p> <p>4.2. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.3. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.4. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.5. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.6. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.7. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.8. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.9. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p> <p>4.10. Roof framing shall be constructed of lumber meeting the requirements of the National Fire Protection Association (NFPA) 241.</p>	<p>5. <b>Metal Framing (Continued)</b></p> <p>5.1. Metal framing shall be constructed of steel.</p> <p>5.2. Metal framing shall be constructed of steel meeting the requirements of the American Institute of Steel Construction (AISC) 360.</p> <p>5.3. Metal framing shall be constructed of steel meeting the requirements of the American Institute of Steel Construction (AISC) 360.</p> <p>5.4. Metal framing shall be constructed of steel meeting the requirements of the American Institute of Steel Construction (AISC) 360.</p> <p>5.5. Metal framing shall be constructed of steel meeting the requirements of the American Institute of Steel Construction (AISC) 360.</p> <p>5.6. 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All construction shall be completed in accordance with the specifications.</p> <p>6.4. All construction shall be completed in accordance with the specifications.</p> <p>6.5. All construction shall be completed in accordance with the specifications.</p> <p>6.6. All construction shall be completed in accordance with the specifications.</p> <p>6.7. All construction shall be completed in accordance with the specifications.</p> <p>6.8. All construction shall be completed in accordance with the specifications.</p> <p>6.9. All construction shall be completed in accordance with the specifications.</p> <p>6.10. All construction shall be completed in accordance with the specifications.</p>

CS-1

Sheet Number



County of Santa Clara, Planning and Development Services  
**MINIMUM CONSTRUCTION SPECIFICATIONS**  
 Building Division

BUILDING RECORD ID:  
 OWNER OR CONTRACTOR SIGNATURE:



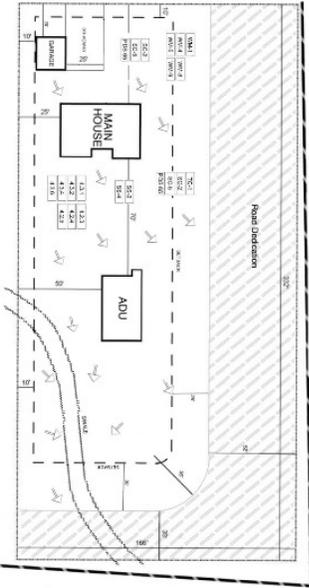
MOVE ON  
HISTORICAL STRUCTURE  
LEATHERMAN A.D.U.



Proposed Land  
Disturbance Area  
960 SQ FT

# Impervious Area Plan

Pioneer Town Rd.



Tom Mix Tr.

BMP Plan



**BMP legend**

CS1.1	CONSTRUCTION BEST MANAGEMENT PRACTICES
CS2.1	POST CONSTRUCTION BEST MANAGEMENT PRACTICES
CS3.1	POST CONSTRUCTION BEST MANAGEMENT PRACTICES
CS4.1	POST CONSTRUCTION BEST MANAGEMENT PRACTICES
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CS49.1	CONSTRUCTION BEST MANAGEMENT PRACTICES
CS50.1	CONSTRUCTION BEST MANAGEMENT PRACTICES

**CREATION OF DISTURBANCE**

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**bonded fiber matrix (BFM) notes**

1. THE BFM SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES TO PREVENT EROSION AND SEDIMENTATION.
2. THE BFM SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES TO PREVENT EROSION AND SEDIMENTATION.
3. THE BFM SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES TO PREVENT EROSION AND SEDIMENTATION.
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5. THE BFM SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES TO PREVENT EROSION AND SEDIMENTATION.

**dust control notes**

1. EXISTING DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. EXISTING DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. EXISTING DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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5. EXISTING DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

**slope protection notes**

1. SLOPE PROTECTION SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENTATION.
2. SLOPE PROTECTION SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENTATION.
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5. SLOPE PROTECTION SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENTATION.

**storm water management notes**

1. STORM WATER MANAGEMENT SHALL BE INSTALLED TO PREVENT FLOODING AND EROSION.
2. STORM WATER MANAGEMENT SHALL BE INSTALLED TO PREVENT FLOODING AND EROSION.
3. STORM WATER MANAGEMENT SHALL BE INSTALLED TO PREVENT FLOODING AND EROSION.
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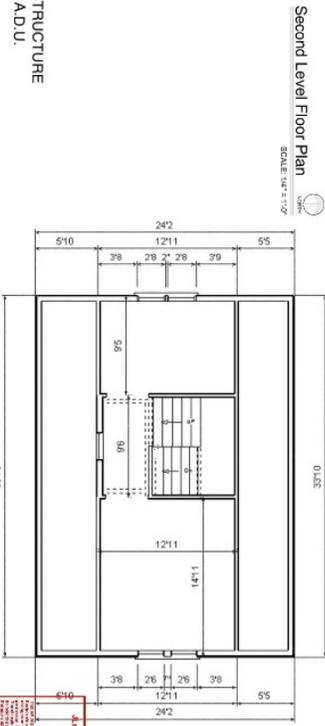
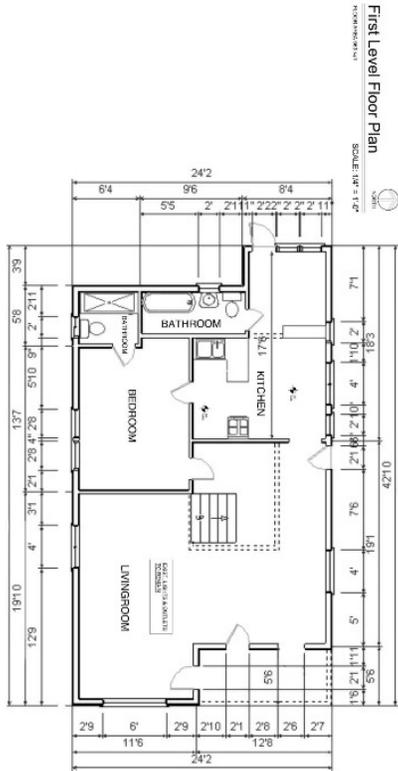
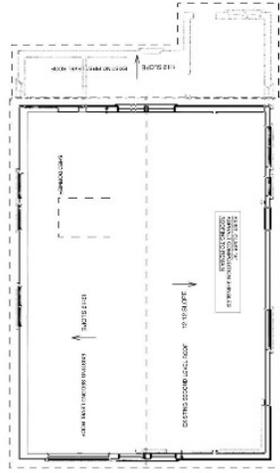
**JOSEPH D. SANTIAGO**  
53385 PIONEER TOWN ROAD  
PIONEERTOWN, CA 92284

LEATHERMAN  
A.D.U.

HI POINT / LEATHERMAN  
HISTORIC PRESERVATION PROJECT  
PIONEERTOWN HOUSE MOVE-ON

A3.0.1





**MOVE ON HISTORICAL STRUCTURE LEATHERMAN A.D.U.**

**smoke & carbon monoxide alarm notes**

1. ALL SMOKE & CARBON MONOXIDE ALARMS SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS. THE SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.
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3. THE SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.
4. THE SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.
5. THE SMOKE & CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.

**general notes**

1. THE ARCHITECT'S INTENT IS TO PRESERVE THE HISTORICAL CHARACTER OF THE STRUCTURE AND TO REPAIR AND RESTORE THE STRUCTURE TO ITS ORIGINAL CONDITION.
2. THE ARCHITECT'S INTENT IS TO PRESERVE THE HISTORICAL CHARACTER OF THE STRUCTURE AND TO REPAIR AND RESTORE THE STRUCTURE TO ITS ORIGINAL CONDITION.
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**general notes**

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**JOSEPH D. SANTIAGO**  
 3385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284

LEATHERMAN A.D.U.

HI POINT / LEATHERMAN  
 HISTORIC PRESERVATION PROJECT  
 PIONEERTOWN HOUSE MOVE-ON

A3.1







# Exhibit 5

385 N. Arrowhead Avenue San Bernardino, CA 92415 | Phone: 909.387.8311 Fax: 909.387.3223

[www.SBCounty.gov](http://www.SBCounty.gov)



## Land Use Services Department Building and Safety Code Enforcement

Mark Wardlaw  
Director

Marlene Ambriz  
Assistant Director

Susan O'Strander  
Assistant Director

September 17, 2024

VIA CERTIFIED MAIL

Mr. Joseph Santiago  
403 10th Street  
Huntington Beach, CA 92648

**Subject: Notice of Permit Revocation – 53385 Pioneertown Road, APN 0594-201-09**

Dear Mr. Santiago,

On September 28, 2022, permits SFR-2021-00730, SFR-2021-00731 – Single Family Dwelling (SFD) and Accessory Dwelling Unit (ADU) respectively - were issued for the relocation of an SFD and ADU at the property identified as APN 0594-201-09. These permits were applied for and were issued in response to code enforcement case C201903524, which are still pending more than two years after the issuance date. On August 15, 2024, you also submitted a foundation plan details BREV-2024-00753

Considerable time has passed, and the required work remains incomplete. As a result, the property is now in a state of disrepair, creating a major nuisance within the community. San Bernardino County Land Use Services Department made multiple attempts to contact you to ensure that the project is completed per the approved plans. However, you have not responded and there has been insufficient progress toward completion.

This letter serves as formal notification that SFR-2021-00730 and SFR-2021-00731, are at imminent risk of revocation pursuant to Section 105.6 of the California Building Code based on a finding by the Building Official that justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.

### BOARD OF SUPERVISORS

COL. PAUL COOK (RET)  
Vice Chairman, First District

JESSE ARMENDAREZ  
Second District

DAWN ROWE  
Chair, Third District

CURT HAGMAN  
Fourth District

JOE BACA, JR.  
Fifth District

Luther Snoke  
Chief Executive Officer

To avoid revocation of these permits, and on good faith effort towards the active enforcement case, you are required to complete all identified following actions by the specified deadlines:

- **Foundation work completed by November 14, 2024:**
  - House bolted to foundation
  - ADU bolted to foundation
  - House and ADU foundation inspected, completed, and approved
- **Roof completed by December 10, 2024:**
  - Repair and replacement of roof framing for both House and ADU
  - Roof sheathing installed for both House and ADU
  - Class A roofing installed and completed for both House and ADU
  - House and ADU roofing inspected, completed and approved.

Both time frames must be met, failure to meet these requirements by the November 14, 2024, and December 10, 2024, deadlines, respectively, will result in the immediate revocation of the permits and this matter will be referred to San Bernardino County Code Enforcement for further action. There will be no more extensions for this permit.

I urge you to contact me immediately to discuss how we can work together to bring this project to a successful resolution.

Sincerely,

*Maged Soliman*

---

*Maged Soliman, PE, CBO, CASp*  
**Building Official**

**Land Use Services Department**  
385 N. Arrowhead Avenue, First Floor  
San Bernardino, CA 92415-0187

*Ignacio Nunez*

---

*Ignacio Nunez*  
**Code Enforcement Chief**

**Land Use Services Department**  
268 W. Hospitality Ln, Third Floor  
San Bernardino, CA 92408-0187

# Exhibit 6

385 N. Arrowhead Avenue San Bernardino, CA 92415 | Phone: 909.387.8311 Fax: 909.387.3223

[www.SBCounty.gov](http://www.SBCounty.gov)



## Land Use Services Department Building and Safety

Mark Wardlaw  
Director

Marlene Ambriz  
Assistant Director

Susan O'Strander  
Assistant Director

November 20, 2024  
Mr. Joseph Santiago  
403 10<sup>th</sup> Street  
Huntington Beach, CA 92648

VIA CERTIFIED MAIL

RE: Final Notice of Permit Revocation  
53385 Pioneertown Road, Pioneertown APN 0594-201-09

Dear Mr. Santiago:

This letter serves as formal notice of permit revocation for SFR-2021-00730, and SFR-2021-00731 (collectively "Permits"), pursuant to section 105.6 of the California Building Code and based on a finding by the Building Official that justifiable cause for extensions of the Permits have been issued based on incorrect, inaccurate, or incomplete information. The Building Official concludes that the history of the Permits and property inspections establish that justifiable cause for extension of the Permits did not exist.

In accordance with Section 63.0105 of the San Bernardino County Code, you have the right to appeal this decision. An application for an appeal must be filed within 20 days in accordance with Section 63.0105 of the San Bernardino County Code. Failure to timely file an application for an appeal shall constitute a waiver.

Any such appeal request shall be filed in person or by mail with the Building and Safety Division of the Land Use Services Department at 385 N. Arrowhead, First Floor, San Bernardino, CA 92415.

All appeals to the Building Appeals Board must be filed on an official "Building Appeals Application" form. These forms are available at the Land Use Services Department or at the following website: <https://lus.sbcounty.gov/building-and-safety-appeals-board/>. The application form must be filled out and clearly state those issues or portion of the order, decision, or determination being appealed since the Building Appeals Board will consider only those issues or portions which were raised on the application form.

Sincerely,

*Maged Soliman*

**Maged Soliman, PE, CBO, CASp**  
**Building Official**

**Land Use Services Department**  
385 N. Arrowhead Avenue, First Floor  
San Bernardino, CA 92415-0187

### BOARD OF SUPERVISORS

COL. PAUL COOK (RET.)  
Vice Chairman, First District

JESSE ARMENDAREZ  
Second District

DAWN ROWE  
Chair, Third District

CURT HAGMAN  
Fourth District

JOE BACA, JR.  
Fifth District

Luther Snoke  
Chief Executive Officer

# Exhibit 7



County of San Bernardino  
Land Use Services Department

## BUILDING AND SAFETY DIVISION INSPECTION SUMMARY REPORT

<b>Inspection Date:</b> 11/07/2024	<b>Inspection Status:</b> Performed	<b>APN:</b> 0594201090000
<b>Permit Number:</b> SFR-2021-00730	<b>Permit Type:</b> New Construction	<b>Permit Issued Date:</b> 09/28/2022
<b>Owner:</b> SANTIAGO, JOSEPH D	<b>Site Address:</b> 53385 PIONEERTOWN RD PIONEERTOWN CA 92268	
<b>Inspector Name:</b> SAMUEL PENA	<b>Inspector Email:</b> Samuel.Pena@lus.sbcounty.gov	
<b>Permit Description:</b>	RELOCATE SINGLE FAMILY RESIDENCE OF 1604 SQ FT LIVABLE (Detached ADU Submitted Under: SFR-2021-00731 Detached Garage Submitted Under: ACCR-2020-00334) 1ST REVISION UNDER BREV-2024-00753 Foundation Plan Details for Existing Historic Subfloor	

### Result Inspection Comments:

PARTIAL APPROVAL AT FORMS.  
11-7-24. SP.

### Inspection Images



# Checklists

## Checklist: BLD\_RESNEW\_V2

### Setback

STATUS: Approved - 12/20/2022

### Foundation Reinforcing Steel

STATUS: Partially\_Approved

COMMENTS: 1. All interior pad footings to be 1'3" deep with (4) #4 each way TOP AND BOTTOM per plan details S3.1/ detail 2. Missing pad footings per plan details  
3. Contractor to wet set all j bolts (j bolts not on site at time of inspection)  
4. Contractor to set all GH468 hangers per plan S3.1/3 (Not on site at time of inspection)

\*\* SOUTH STEM WALL IS INCOMPLETE . Contractor has installed 1 corse. See photos above \*\*

East and West stem walls ok to pour

Jc 1-26-2024

Previous corrections #1 & 2 have been corrected and are RESOLVED. Contractor has sent a email video of the corrected pad footing depth, additional rebar and the missing pad footings  
Notes #3 & 4 remain  
Jc 2-28-2024

### Slab Grade

STATUS: Pending

### Underslab/floor Ducts

STATUS: Pending

### Joists and Girders

STATUS: Pending

### Mid-Height Bond Beam

STATUS: Partially\_Approved

COMMENTS: Permitter block foundation west and south west approved JC 3/17/2023

Permitter block foundation approximately 40% completer other inspections to follow

### Final Bond Beam

STATUS: Pending

### Shear Panel

STATUS: Pending

### Erosion Control Inspection

STATUS: Corrections

COMMENTS: Provide erosion control methods as per plan details by following inspection Jc 1-26-2024

### Excavation and Forms

STATUS: Partially\_Approved - 11/07/2024

COMMENTS: 1. Pony wall for from half of building heading north approved with original existing framing. Provide additional anchor bolts at this section, must have a hold down within 12" of ends of sill plates.  
11-7-24. SP.



### Ground Plumbing

STATUS: Pending

### Fireplace Foundation

STATUS: Pending

### Electrical Ground

STATUS: Pending

### 8-Foot Bond Beam

STATUS: Pending

### Fireplace Bond Beam

STATUS: Pending

### Roof Sheathing

STATUS: Pending

<b>Combo</b> STATUS: Pending	<b>Rough Fire (Call Local Fire Dept.)</b> STATUS: Pending
<b>Framing and Ventilation</b> STATUS: Pending	<b>Roof Covering</b> STATUS: Pending
<b>Rough Electrical</b> STATUS: Pending	<b>Rough Plumbing</b> STATUS: Pending
<b>Rough Mechanical</b> STATUS: Pending	<b>Shower Pan Test</b> STATUS: Pending
<b>Insulation</b> STATUS: Pending	<b>Exterior Lath/Stucco or Siding</b> STATUS: Pending
<b>Lath or Drywall Nailing</b> STATUS: Pending	<b>Septic Tank</b> STATUS: Pending
<b>Leach Line or Seep Pit</b> STATUS: Pending	<b>Water Service</b> STATUS: Pending
<b>Gas Line Air Test</b> STATUS: Pending	<b>Electrical Service and Ground</b> STATUS: Pending
<b>Final Electrical</b> STATUS: Pending	<b>Final Plumbing</b> STATUS: Pending
<b>Final Mechanical</b> STATUS: Pending	<b>Final Grading Certification</b> STATUS: Pending
<b>Special Inspector Reports</b> STATUS: Pending	<b>Final Construction</b> STATUS: Pending
<b>Final Fire (Call Local Fire Dept.)</b> STATUS: Pending	<b>Other</b> STATUS: Pending

# Exhibit 8



County of San Bernardino  
Land Use Services Department

## **BUILDING AND SAFETY DIVISION** **INSPECTION SUMMARY REPORT**

**Permit Type:** New Construction **APN:** 0594201090000  
**Permit Issued Date:** 10/25/2024 **Owner:** SANTIAGO, JOSEPH D  
**Permit Number:** SFR-2021-00731 **Site Address:** 53385 PIONEERTOWN RD,  
PIONEERTOWN, CA 92268  
**Permit Description:** RELOCATE ADU OF 960 SQ FT

(Single Family Residence Submitted Under: SFR-2021-00731  
Detached Garage Submitted Under: ACCR-2020-00334) (1st Revision under BREV-2024-01000-  
Add (E) Subfloor to Foundation Plan Detail (already approved for SFR 2021-00730)

**General Comments:** CONTINUOUS (PERIMETER) FOUNDATION REINF. STEEL APPROVED. SPREAD/PIER  
FOUNDATIONS PENDING.  
10/17/22 JF

ITEMS INSPECTED	RESULT	DATE
<b>Temporary Power</b>	Pending	12/20/2022
<b>Setback</b>	Approved	12/20/2022
<b>Erosion Control Inspection</b>	Pending	12/20/2022
<b>Rough Grading Certification</b>	Pending	12/20/2022

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v.18.01.02

**DO NOT REMOVE THIS NOTICE**

Page 1 of 5

ITEMS INSPECTED	RESULT	DATE
<b>Foundation Reinforcing Steel</b>  CONTINUOUS (PERIMETER) FOUNDATION REINF. STEEL APPROVED. SPREAD/PIER FOUNDATIONS PENDING. 10/17/22 JF	Partially_Approved	12/20/2022
<b>Excavation and Forms</b>	Partially_Approved	12/20/2022
<b>Ground Plumbing</b>	Pending	12/20/2022
<b>Underslab/floor Ducts</b>	Pending	12/20/2022
<b>Fireplace Foundation</b>	Pending	12/20/2022
<b>Joists and Girders</b>	Pending	12/20/2022
<b>Electrical Ground</b>	Pending	12/20/2022
<b>Mid-Height Bond Beam</b>	Pending	12/20/2022
<b>8-Foot Bond Beam</b>	Pending	12/20/2022
<b>Final Bond Beam</b>	Pending	12/20/2022
<b>Fireplace Bond Beam</b>	Pending	12/20/2022

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v.18.01.02

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Page 2 of 5

# Exhibit 9



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EMAIL: [LUSCustomerService@lus.sbcounty.gov](mailto:LUSCustomerService@lus.sbcounty.gov)

## Land Use Services Department Building & Safety Division

### Extension Request Form for Building Applications and Permits

Project Address: 53385 Pioneertown Rd Permit Number: SFR 2021-00730  
Applicant's Name/Company: Joseph D Santiago  
Address: 403 10th Street City: Huntington Beach State: CA  
Email: graphicviolencedesn@yahoo.com Phone: 714-206-1965

**Building Permit Application:** Plan Review applications are valid for 180 days from the date of the application. Within this timeframe you may obtain a building permit or, if you run out of time, you may submit a written request for an extension. The request must explain the reason preventing the building permit from being obtained. If the permit has not been obtained or an extension requested within 180 days from the date of the application, the plan review may expire. If approved, residential permit applications may be extended 180 days and commercial permit applications may be extended 90 days.

**Building Permits:** Issued building permits are valid if the building or work authorized by a permit is started within 360 days from the date of permit issuance or, if after the work has started, the building or work authorized by the permit is not suspended or abandoned for a period in excess of 180 days. If you run out of time, you may submit a written request for an extension to avoid the permit from expiring. The request must explain the reason preventing action from being taken.

The timeframe for review of building application and permit extension requests is five business days.

Please check one of the following:

- I am requesting an extension for my building permit plan review application.  
 I am requesting an extension for my building permit.

Reason for Extension Request:

I have a plan change to submit in order to continue the project and so cannot meet my 180-day c  
I will be submitting the plan changes immediately after submitting this extension request. The  
This historic preservation project like most of its kind is not typical and can be misperceived a  
The standard 180-days doesn't provide flexibility needed to adapt that the State Historic Build  
I've been told there is a Code Enforcement case open on the property, specifically about the s

Is there an active code enforcement violation case on this site:  Yes  No

Signature: [Signature]

Date: 7/22/2024

Print Name: Joseph D Santiago

Check One:  Property Owner  Permit Holder

Other \_\_\_\_\_

#### Official Use Only

Date Request Received: 07/30/24 Permit Number: SFR-2021-00730

Extension:  Granted/Length of Extension 180- Days  Not Granted/Comment \_\_\_\_\_

Previous Expiration Date: 07/28/24 New Expiration Date: 01/28/25

Name: George Pahl Title: Regional Inspection Supervisor

Signature: [Signature]

Date: 7/30/24



### Land Use Services Department Building & Safety Division

#### Extension Request Form for Building Applications and Permits

Project Address: 53385 Pioneertown Rd Permit Number: SFR 2021-00731  
 Applicant's Name/Company: Joseph D Santiago  
 Address: 403 10th Street City: Huntington Beach State: CA  
 Email: graphicviolencedesn@yahoo.com Phone: 714-206-1965

**Building Permit Application:** Plan Review applications are valid for 180 days from the date of the application. Within this timeframe you may obtain a building permit or, if you run out of time, you may submit a written request for an extension. The request must explain the reason preventing the building permit from being obtained. If the permit has not been obtained or an extension requested within 180 days from the date of the application, the plan review may expire. If approved, residential permit applications may be extended 180 days and commercial permit applications may be extended 90 days.

**Building Permits:** Issued building permits are valid if the building or work authorized by a permit is started within 360 days from the date of permit issuance or, if after the work has started, the building or work authorized by the permit is not suspended or abandoned for a period in excess of 180 days. If you run out of time, you may submit a written request for an extension to avoid the permit from expiring. The request must explain the reason preventing action from being taken.

The timeframe for review of building application and permit extension requests is five business days.

Please check one of the following:

- I am requesting an extension for my building permit plan review application.
- I am requesting an extension for my building permit.

Reason for Extension Request:

I have a plan change to submit in order to continue the project and so cannot meet my 180-day c  
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 This historic preservation project like most of its kind is not typical and can be misperceived a  
 The standard 180-days doesn't provide flexibility needed to adapt that the State Historic Build  
 I've been told there is a Code Enforcement case open on the property, specifically about the s

Is there an active code enforcement violation case on this site:  Yes  No

Signature: [Signature] Date: 7/22/2024

Print Name: Joseph D Santiago Check One:  Property Owner  Permit Holder

Other \_\_\_\_\_

----- Official Use Only -----

Date Request Received: 07/30/24 Permit Number: SFR-2021-00730

Extension:  Granted/Length of Extension 180- Days  Not Granted/Comment \_\_\_\_\_

Previous Expiration Date: 07/28/24 New Expiration Date: 01/28/25

Name: George Pahl Title: Regional Inspection Supervisor

Signature: [Signature] Date: 7/30/24



# **Exhibit 11**

## **SAN BERNARDINO COUNTY BUILDING AND SAFETY APPEALS BOARD WRITTEN DETERMINATION RE THE APPEAL OF JOSEPH D. SANTIAGO**

We, the Building and Safety Appeals Board (the “Board”) of San Bernardino County (the “County”), pursuant to Section 63.0105(d)(11)(g) of the San Bernardino County Code (the “SBCC”), hereby issue the following written decision.

**WHEREAS**, on November 20, 2024, the County Building Official revoked Permits No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 related to the construction and establishment of a primary single-family residence (the “SFR”), a detached accessory dwelling unit (the “ADU”) and a detached garage, respectively, at 53385 Pioneertown Road in the unincorporated community of Pioneertown (the “Property”).

**WHEREAS**, pursuant to Section 63.0105(c) of the SBCC, an appeal of the Building Official’s determination was filed by the permittee and property owner, Mr. Joseph D. Santiago (the “Appellant”) challenging the revocation of “Permits SFR-2021-00730, SFR-2021-00731, (and expiry of ACCR-2020-00334) [collectively the “Permits]” (the “Appeal”).

**WHEREAS**, on February 3, 2025, the Board heard and considered the Appeal. The Board reviewed the record of the proceedings in this matter, the written documents submitted by the Appellant and the Land Use Services Department (the “Department”), and the oral arguments and testimony of the parties and interested persons.

**WHEREAS**, the Board finds the evidence supports the Building Official’s revocation of the Permits pursuant to Section 105.6 of the California Building Code (the “CBC”), which is adopted and incorporated by reference into the SBCC.

**WHEREAS**, the Board finds that construction activity at the project site had been suspended or abandoned and that justifiable cause for an extension of the Permits did not exist due to previous delays and time afforded the Appellant, the lack of work that has occurred on the Property since issuance of the Permits, and the incorrect and inaccurate claim that the structures are subject to historical building standards.

**WHEREAS**, the Board further finds that the evidence establishes that the condition of the structures and Property were unsafe and a danger to human life or the public welfare based on the structure being improperly supported, in pieces, unsecured, and exposed in violation of the CBC and SBCC.

**WHEREAS**, the Board denies the appeal and upholds the Building Official’s decision to revoke the Permits.

**RESOLVED**, that the recitals above are true and correct and are hereby adopted as the findings and determination of the Board.

---

Scott Rice  
Chair, Building and Safety Appeals Board

## Exhibit 12

### **SAN BERNARDINO COUNTY BUILDING AND SAFETY APPEALS BOARD WRITTEN DETERMINATION RE THE APPEAL OF JOSEPH D. SANTIAGO**

We, the Building and Safety Appeals Board (the “Board”) of San Bernardino County (the “County”), pursuant to Section 63.0105(d)(11)(g) of the San Bernardino County Code (the “SBCC”), hereby issue the following written decision.

**WHEREAS**, on November 20, 2024, the County Building Official revoked Permits No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 related to the construction and establishment of a primary single-family residence (the “SFR”), a detached accessory dwelling unit (the “ADU”) and a detached garage, respectively, at 53385 Pioneertown Road in the unincorporated community of Pioneertown (the “Property”).

**WHEREAS**, pursuant to Section 63.0105(c) of the SBCC, an appeal of the Building Official’s determination was filed by the permittee and property owner, Mr. Joseph D. Santiago (the “Appellant”) challenging the revocation of “Permits SFR-2021-00730, SFR-2021-00731, (and expiry of ACCR-2020-00334) [collectively the “Permits]” (the “Appeal”).

**WHEREAS**, on February 3, 2025, the Board heard and considered the Appeal. The Board reviewed the record of the proceedings in this matter, the written documents submitted by the Appellant and the Land Use Services Department (the “Department”), and the oral arguments and testimony of the parties and interested persons.

**WHEREAS**, the Board finds the evidence does not support the Building Official’s revocation of the Permits pursuant to Section 105.6 of the California Building Code (the “CBC”), which is adopted and incorporated by reference into the SBCC.

**WHEREAS**, the Board grants the appeal and sets aside the Building Official’s decision to revoke the Permits. The Board directs the Department to return the Permits to regular status.

**RESOLVED**, that the recitals above are true and correct and are hereby adopted as the findings and determination of the Board.

---

Scott Rice  
Chair, Building and Safety Appeals Board



## STATE HISTORICAL BUILDING SAFETY BOARD

# Annotated San Bernardino County Building and Safety Appeals Board Report

Not one mention of Pandemic or associated delays for all sides.



# BUILDING AND SAFETY APPEALS BOARD REPORT

**HEARING DATE: February 3, 2025**

**AGENDA ITEM # 2**

## Project Description

**APN:** 0594-201-09-0000  
**Appellant:** Joseph Santiago  
**Representative:** Joseph Santiago  
**Community:** Pioneertown  
**Location:** 53385 Pioneertown Rd. Pioneertown, CA 92268  
**Project No.:** BMISC-2024-00138  
**Staff:** Greg Griffith, Engineering Manager, Building & Safety  
Matthew Weise, Administrative Supervisor, Building & Safety

**Proposal:** An appeal of the revocation of building permits SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334

## Vicinity Map



## **SITE INFORMATION**

**Parcel Size:** 1.26 acres  
**Zoning:** SD-Res/RL (Special Development/Residential Rural Living)  
**Terrain:** Flat  
**Vegetation:** Native grass

## **SURROUNDING LAND DESCRIPTION:**

AREA	EXISTING LAND USE	LAND USE CATEGORY	LAND USE ZONING DISTRICT
Site	Single Family Residence	Rural Living (RL)	Special Development – Residential (SD-RES)
North	Livestock Ranch	Rural Living (RL)	Special Development – Residential (SD-RES)
South	Vacant	Rural Living (RL)	Special Development – Residential (SD-RES)
East	Single Family Residence	Rural Living (RL)	Special Development – Residential (SD-RES)
West	Vacant	Rural Living (RL)	Special Development – Residential (SD-RES)

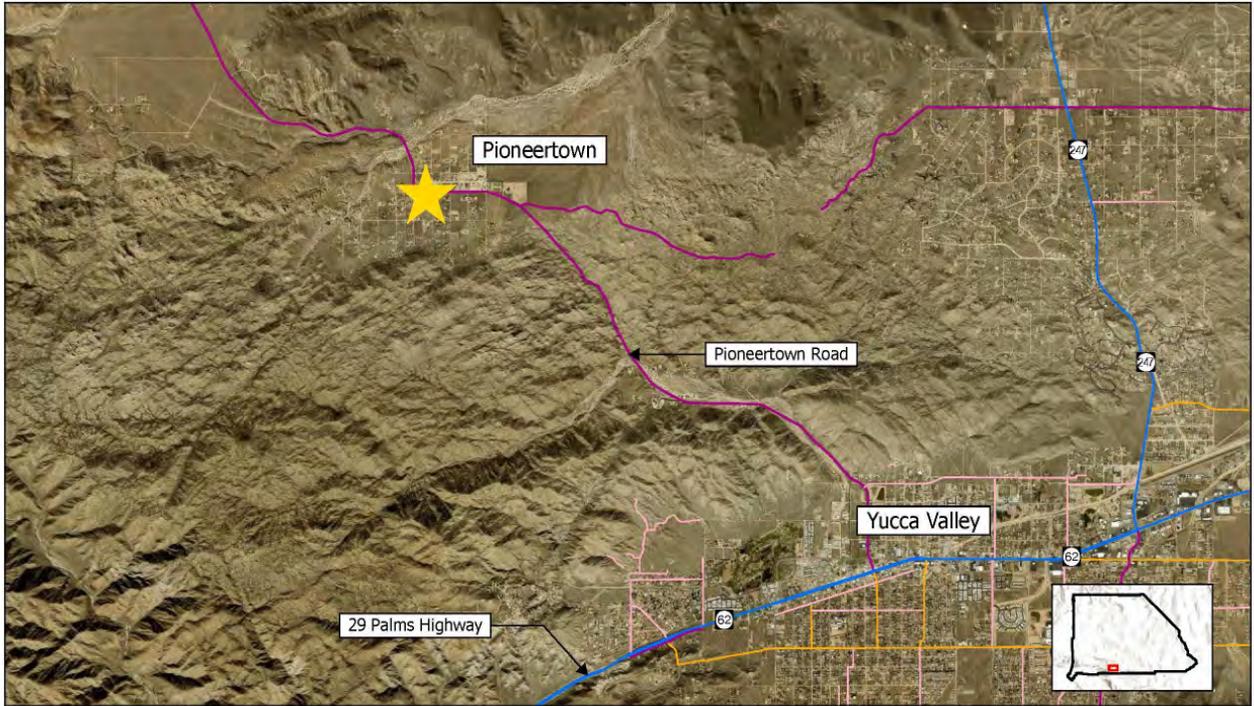
### **AGENCY**

Community: Pioneertown  
Water Service: Mojave Water Agency  
Sewer Service: N/A

**STAFF RECOMMENDATION:** The Board of Appeals sustains the Building Officials decision to revoke Building Permit(s) SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334

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# REGIONAL MAP



53385 Pioneertown Road

★ APN: 0594-201-09

- Freeway
- Highway
- Major Arterial
- Minor Arterial
- Controlled/Limited Access Collector



# VICINITY MAP



53385 Pioneertown Road



 APN: 0594-201-09

 Parcels

Please note ALL plans titled  
"HISTORIC PRESERVATION PROJECT  
PIONEER TOWN HOUSE MOVE-ON"



Deceptive photos, not current status. Current photos of reassembled house provided by appellant.

**Existing Primary Residence**  
**SFR-2021-00731**  
**View 1: Looking West**



Deceptive photos, not current status. Current photos of reassembled house provided by appellant.

**Existing Primary Residence**  
**SFR-2021-00731**  
**View 2: Looking South**

11/07/2024



Deceptive photos, not current status. Current photos of reassembled house provided by appellant.

**Existing Primary Residence**  
**SFR-2021-00731**  
**View 3: Looking East**



Deceptive photos, not current status. Current photos of reassembled house provided by appellant.

**Existing Primary Residence**  
**SFR-2021-00731**  
**View 3: Looking Northeast**



**Accessory Dwelling Unit**  
**SFR-2021-00730**



**Detached Garage**  
**ACCR-2020-00202**



Please note ALL plans titled "HISTORIC PRESERVATION PROJECT PIONEER TOWN HOUSE MOVE-ON"

## **APPELLANT REQUEST**

This is an appeal filed by Joseph Santiago (Appellant) for the revocation of Permit No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 (Permits). As part of the appeal, the appellant requests the following actions:

1. Return the permits to Issued status.
2. Maintain “one pass, all pass” status.
3. Return to normal schedule (180 days on passing inspection).
4. Close Code Enforcement case #C201903524.

## **SUMMARY OF APPELLANT ASSERTIONS ON APPEAL**

1. Revocation of permits conducted without consideration of the California Historic Building Code (CHBC).
2. All three (3) structures are subject to the protection of CHBC.
3. Lack of extensions of time.

## **BUILDING PERMIT ANALYSIS**

105.6 is very specific to permit. NOT extensions.

The Building Official revoked the Permits based on California Building Code (CBC) Section 105.6, which provides, in relevant part, that “[t]he building official is authorized to ... revoke a permit ... wherever the permit is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.” As detailed below, the Building Official found that the latest extension for the Permits were issued in error and on the basis of incorrect, inaccurate or incomplete information regarding the justifiable cause alleged by the Appellant and should have expired due to the lack of activity and progress at the project, or, alternatively, that the nuisance conditions occurring at the property in violation of the San Bernardino County Code (SBCC) authorized revocation of the Permits. The Appellant disputes the Building Officials’ decision to revoke the Permits and asserts that the project was not abandoned and that complications regarding the historic nature of the structure was justifiable cause to extend the permits and that nuisance conditions did not exist at the property.

NOT in violation (CHBC prevails)

Abated.  
-Jorgenson  
Email

Stated as fact, not justification. BREV was justification.

In October 2019, San Bernardino County, Land Use Services Department (LUS), Code Enforcement Division (Code) received and responded to complaints pertaining to mobile home sections placed on a vacant lot in the Pioneertown area. The subject property is addressed at 53385 Pioneertown Road (APN 0594-201-09-0000). In subsequent weeks, Code received additional complaints alleging more mobile home sections, illegal grading activity, work being performed without permits, and debris deposited on the property. **Claims unverified. Assumptions about unfamiliar materials. No citations issued.**

Since the inception of this case in 2019, LUS staff has spent a significant amount of time assisting the Appellant to address the issues surrounding the completion of the project. Staff has also made had many interactions with community stakeholders. These activities include, but are not limited to, conversations with concerned community members, onsite meetings with the Appellant, more than ten onsite/field investigations by various LUS staff, the issuance of two Notices of Violation, and two citations (one of which was overturned). **Untrue and irrelevant**

**False. No proof of 2nd citation provided in Exhibits. Violations corrected immediately.**  
In 2019 and 2020, the Appellant applied for necessary building permits, which stayed further action on the Code compliance case. Three building permits were requested:

- SFR-2021-00730 For the primary single-family residence (SFR).
- SFR-2021-00731 For an accessory dwelling unit (ADU).
- ACCR-2020-00334 For a detached garage.

The Building and Safety Division (B&S) approved and issued the Permits in late September of 2022, more than a year after the initial submittal and three years after the initial code case was opened. **Staff pretending Pandemic wasn't full-tilt at this time.**

The permits for all three structures were approved provided upon the units showing up on site as a single structure fully intact. However, this did not happen. The SFR was transported to the subject site via flatbed in four different sections and without a roof. Furthermore, the ADU and garage remain off-site and have not been evaluated by B&S staff. **Not true. disassembly of structure was well known fact at the time. Roof sections preserved intact. (6 inspections on site)**

**Estimate based on what historic preservation experience or expertise? (NONE.)**  
B&S estimate that on average, construction of a project of this nature usually takes 120 to 180 days (4 to 6 months) from start to completion once building permits have been obtained. For the past five years, however, the SFR structure has been on the property in pieces, improperly supported, and with no protection from the harsh desert environment (snow, rain, sun, and heat). As a result, the dilapidated sections are significantly compromised, creating a public safety hazard, and are a source of blight on the community in violation of the SBCC. **False.**

**False. False. False. CHBC prevails. All violations corrected and confirmed by Jorgenson email.**

Due to the lack of progress, on September 17, 2024, the Building Official issued a Notice of Intent to revoke the permits based on CBC Section 105.6. This Notice (refer to Exhibit 5) highlighted the considerable lapse of time and lack of progress occurring on the project, the nuisance conditions created by the project, and identified a 60 and 90 day timeline by which to achieve specific milestones towards project completion to avoid revocation. Site inspections were conducted after the identified dates and confirmed that the Appellant failed to meet the time expectations, thus resulting in the revocation of the permits in November of 2024.

False.

False.

False.

Unlawful action. No consideration of CHBC or prior consult with SHBSB.

Unlawful and poorly researched schedule.

**BUILDING OFFICIAL DETERMINATION** Unlawful and uninformed.

To apply the 2019 California Historical Building Code (CHBC), the structure under consideration must be qualified by being designated as a historical building or structure, per HSC Section 18955. Not one structure is registered as a qualified historical building and the appeal of such determination can only be heard by the State Historical Building Safety Board (SHBSB).

No reference to HSC Section 18961 or CHBC Section 807-Q Qualified Structure

Absolutely FALSE! Evidence and official acceptance of such— 7 times!

"...no action... without prior review... by SHBSB!"

Existing structure in its current condition represents an imminent threat to life, health, and safety in Violation of the SBCC, including but not limited to, CBC section 116.1. The existing residential structure currently on-site has been exposed to and unprotected from weather elements since delivery on or about 11/06/2019. The structure does not conform to the approved plans, and or revisions submitted to, and approved by, B&S. Upon further inspection it was determined, the description of work, the on-site conditions, and work product, are misrepresented or not done in a workmanship like manner. Additionally, the appellant was granted previous extensions and failed to make adequate progress to cure the nuisance conditions. For these reasons pursuant to CBC section 105.6, the permits were revoked.

False. Doesn't meet threshold for any code, especially CHBC.

False. CHBC prevails.

False. Opinion from no historic preservation experience.

First extension initiated by Staff for their multiple delays. -Shannon Griffith apology text.

Unlawful, uninformed and impossible schedule. No nuisance conditions -Jorgenson email.

Unlawfully.

**OPTIONS FOR THE BUILDING AND SAFETY APPEALS BOARD** Unlawful action. No consideration of CHBC or prior consult with SHBSB.

**Option 1:** Deny the appeal and adopt the proposed findings and written determination for upholding the Building Officials' decision to revoke permit no. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334. Authorize the Chair of the Appeals Board to execute the written decision and to make non-substantive edits as needed (refer to Exhibit 11).

**OR**

**Option 2:** Grant the appeal and adopt the proposed findings and written determination for setting aside the Building Officials' decision to revoke permit no. SFR-2021-00730, SFR-2021-

00731, and ACCR-2020-00334. Authorize the Chair of the Appeals Board to execute the written decision and to make non-substantive edits as needed (refer to Exhibit 12).

**COUNTY RECOMMENDATIONS** Unlawful action. No consideration of CHBC or prior consult with SHBSB.

Uphold the Building Officials' decision for permit expiration.

**ATTACHMENTS**

Exhibit: 1 Code Case/Building Permit Chronology No proof for alleged 2nd citation.

Exhibit: 2 Applicable Codes

Exhibit: 3 Plans for SFR-2021-00730 (primary residence)

Exhibit: 4 Plans for SFR-2021-00731 (ADU)

Exhibit: 5 Notice of Intent to Revoke Permits(drafted 9/17/2024)

Exhibit: 6 Notice of Permit Revocation (drafted 11/20/2024)

Exhibit: 7 Inspection History SFR-2021-00730 Actually shows progress and multiple inspections approved with house in transit sections.

Exhibit: 8 Inspection History SFR-2021-00731 pages 1&2 of 5

Exhibit: 9 Extension Request Only 1, NOT 2 as alleged.

Exhibit:10 Appellant Appeal Request

Exhibit: 11 Findings With Written Determination

Exhibit: 12 Findings With Written Determination

# Exhibit 1

## **Code Enforcement Case C201903524**

**10/23/2019** a complaint was received concerning unpermitted grading and the placement of two to four mobilehome(s) on the property.

**10/29/2029** Inspection conducted of the property. The officer identified four structures on trailers, construction materials, junk and trash. The officer determined the parcel was listed as vacant with **False. Only structural components, mistaken for junk due to ignorance.** no legal primary/approved use.

**11/06/2019** Notice of Violation was issued for violation of SBCC 82.02.02(b) Unpermitted Land Use – Prohibited storage of trailers, structures and other item without proper approvals.

**12/10/2019** Inspection conducted of the property. The officer identified four trailers loaded with wooden structures, construction materials, junk and trash.

**False. Only structural components, mistaken for junk due to ignorance.**

**12/13/2019** Research by Code Enforcement determined that no approval/primary use had been obtained for the storage on the property.

**12/23/2019** Administrative Citation C190010080 was issued for violation of SBCC 82.020.02(b) Permit Approval Required. **All citations dismissed. Structure officially determined qualified under CHBC by CE Director and Hearing Officer.**

**03/09/2021** Permit research finds all permits expire for a Single-Family Residence, Accessory Dwelling and Relocation of a Detached Garage. **Pandemic and 2nd of MFGH mistakes by Staff.**

**03/09/2021** Inspection of the property conducted. Officer finds halves of a mobile home placed on jacks that appear unstable. Additionally, a container and piles of debris were also observed. **False. Not Mobile Homes.**

**Cribbing/bracing is industry standard– not unstable.**

**False. Only structural components on site.**

**05/13/2021** Notice of Violation issued for IPMC 108.1.4 Unlawful Structure- Unpermitted Structures expired permits for Single Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container, IPMC 108.1.5(7) Dangerous Structure on Premises – Attractive Nuisance unsecured structure and possible collapse hazard and IPMC Garbage- construction material, junk and trash.

**08/10/2021** Notice and Order to Repair issued for IPMC 108.1.5.4 Dangerous structure or premises- unstable structure, IPMC 108.1.5.6 Dangerous structure or premises – unsafe for occupancy, IPMC 108.1.5.7 Dangerous structure or premises – attractive nuisance unsecured

structure, IPMC 108.1.5.11 Dangerous structure or premises – attractive nuisance/ public hazard unsecured structure. **All violations confirmed eliminated -Jorgenson email.**

**07/11/2023** Inspection of the property conducted. Officer observes dilapidated structures and cargo container on the property.

**07/23/2023** Notice of Violation issued for IPMC 111.1.4 (2021) Unlawful Structures expired permits for Single Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container. SBCC 82.020.02(b) Permit Approval Required no primary use. **Another MFGH mistake by Staff. -Griffith apology text.**

**11/18/2024** Inspection of the property conducted. Code Enforcement Officer observes dilapidated structures on the property and cargo container. **CE directed to inspect by B&S Staff after unlawful action to revoke.**

**11/22/2024** Notice of Violation issued for IPMC 111.1.4 (2021) Unlawful Structures Unpermitted Single-Family Residence, Accessory Dwelling Unit, Detached Garage and shipping container. SBCC 82.020.02(b) Permit Approval Required no primary use. **CE directed to inspect by B&S Staff after unlawful Action to Revoke. When contacted, CE Staff, confused by Action and unfamiliar with proper procedure wisely decides to postpone any further CE action until final B&S Hearing result.**

#### **Building Permit History ACCR-2020-00202 (Garage)**

**05/20/2020** Application filed.

**09/29/2022** Permit issued.

**10/17/2022** Setback, Foundation Reinforcing Steel, and Slab Grade, Approved.

**01/30/2024** Permit expired for no activity. **Garage still mistakenly attached by Staff to withdrawn permit. Should have renewed when other structures passed inspection.**

#### **Building Permit History SFR-2021-00730 (Primary Residence)**

**08/11/2021** Applications filed. **This all looks like progress to me. Looked that way to SB County Board Members as well. One reason for 90-day extension (still unlawful).**

**09/28/2022** Permit issued.

**10/17/2022** Setbacks, pass. Footing and steel, partial approval.

**03/17/2023** Mid-height bond beam, partial approval. **All partials necessary as transit pieces must be set down in phases that can't interfere with each other.**

**08/22/2023** First permit extension 180 days.

**01/26/2024** Foundation reinforcing steel. Corrections **No proof of first request as it was initiated by Staff due to Staff errors. -Griffith email.**

**02/28/2024** Foundation reinforcing steel. Partial approval, correction no BMP in place.

**08/15/2024** Second 180-day extension granted. **False. First and only request. Submitted July 22, 2024.**

**08/15/2024** Application filed for BREV-2024-00753, revision for SFR-2021-00730 foundation connection modification. **BREV submitted and approved in about 45 days. ALL guided by B&S Staff.**

**09/17/2024** Mailed Notice of Intent to Revoke letter for permits SFR-2021-00730/00731.

**Sent Certified Mail- never recieved. Re-sent Certified in October, recieved. Immediate reply given.**

**11/07/2024** Cripple wall framing, partial approval. **Should result in another 180 days for all permits.**

**11/07/2024** A site visit with owner, Joesph Santiago conducted by John Neubert & Maged Soliman. **Neubert announces, "Board of Supervisors is involved... you better take it seriously!" Soliman winces. Both admit no previous knowledge or experience with CHBC, SHBSB, etc.**

**11/15/2024** Site visit conducted by John Neubert for verification of compliance towards foundation work meeting 1<sup>st</sup> deadline date in Notice of Intent to Revoke letter. **Neubert skips scheduled 11/14/24 visit w/o notice.**

**11/15/2024** Permits SFR-2021-00730 expired and locked for failure to comply with Notice of Intent to Revoke . **Unlawful action. No consideration of CHBC or prior consult with SHBSB.**

**11/15/2024** E-mail sent to the property owner with Final Notice of Permit Revocation letter attached. **Finally, proper communication protocol established.**

**11/20/2024:** Final Notice of Permit Revocation letter sent, "Via certified mail".

**11/21/2024:** Second e-mail sent to the property owner with the Final Notice of Permit Revocation letter attached.

#### **Building Permit History SFR-2021-00731 (ADU)**

**08/11/2021** Applications filed.

**09/28/2022** Permit issued.

**10/17/2022** Setbacks, approved. Foundation reinforcing steel, partial approval.

**08/15/2024** First 180-day extension granted. **Correct but contradicts previous allegations above. Open permit confirms 1-pass-all-pass status.**

**10/25/2024** Application filed for BREV-2024-01000, revision for SFR-2021-00731.

**09/17/2024** Mailed Notice of Intent to Revoke for permits SFR-2021-00730/00731.

**11/07/2024** A site visit with the owner, Joesph Santiago conducted by John Neubert & Maged Soliman. **Neubert and Soliman surprised ADU and garage not on site. "Leave it... progress on Main."**

**11/15/2024** Site visit conducted by John Neubert for verification of compliance towards foundation work meeting 1<sup>st</sup> deadline date in Notice of Intent to Revoke letter.

**11/15/2024** Permits SFR-2021-00730 expired and locked for failure to comply with Notice of Intent to Revoke . **Unlawful action. No consideration of CHBC or prior consult with SHBSB.**

**11/15/2024** E-mail sent to the property owner with Final Notice of Permit Revocation letter attached.

**11/20/2024** Final Notice of Permit Revocation letter sent, "Via certified mail".

**11/21/2024** A second e-mail sent to the property owner with the Final Notice of Permit Revocation letter attached.

## Exhibit 2

**APPLICABLE CODES** No reference to HSC Section 18961, HSC Section 18954 or CHBC Section 8 218 – Q QUALIFIED... STRUCTURE

**HSC Section 18955:** For the purposes of this part, a qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.

ADU and Garage have irrefutable proof submitted. Main has been officially "determined eligible" 7x.

**HSC Section 18957:** Nothing in this part shall be construed to prevent authorized building or fire officials from the performance of their duties when in the process of protecting the public health, safety, and welfare.

CHBC prevails.

**CBC Section 104.1:** The building official is hereby authorized and directed to enforce the provisions of this code. The building official shall have the authority to render interpretations of this code and to adopt policies and procedures in order to clarify the application of its provisions. Such interpretations, policies and procedures shall be in compliance with the intent and purpose of this code. Such policies and procedures shall not have the effect of waiving requirements specifically provided for in this code.

CHBC prevails.

**CBC Section 104.9.1:** Materials that are reused shall comply with the requirements of this code for new materials. Used equipment and devices shall not be reused unless approved by the building official.

CHBC prevails.

**CBC Section 105.4:** The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or of any other ordinance of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the building official

from requiring the correction of errors in the construction documents and other data. The building official is authorized to prevent occupancy or use of a structure where in violation of this code or of any other ordinances of this jurisdiction.

**CHBC prevails.** **CBC Section 105.6:** The building official is authorized to suspend or revoke a permit issued under the provisions of this code wherever the permit is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.

**CHBC prevails.** **CBC Section 116.1:** Structures or existing equipment that are or hereafter become unsafe, insanitary or deficient because of inadequate means of egress facilities, inadequate light and ventilation, or that constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or that involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. Unsafe structures shall be taken down and removed or made safe, as the building official deems necessary and as provided for in this section. A vacant structure that is not secured against unauthorized entry shall be deemed unsafe.

**CHBC has alternate standard for threat to life safety. Not met here.**

# Exhibit 3

Please note ALL plans annotated with CHBC prevailing at top of code list.

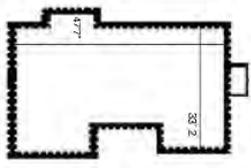
<p><b>code</b></p> <p>THE FOLLOWING IS A LIST OF THE CODES THAT APPLY TO THIS PROJECT. THE CODES ARE LISTED IN THE ORDER THAT THEY APPLY TO THE PROJECT. THE CODES ARE LISTED IN THE ORDER THAT THEY APPLY TO THE PROJECT. THE CODES ARE LISTED IN THE ORDER THAT THEY APPLY TO THE PROJECT.</p> <p>CHBC PREVAILING</p>	<p><b>deferred submittal</b></p> <p>DEFERRED SUBMITTALS ARE ITEMS THAT ARE NOT REQUIRED TO BE SUBMITTED WITH THE PERMIT APPLICATION. THESE ITEMS ARE TO BE SUBMITTED AT A LATER DATE, AS DETERMINED BY THE PERMITTING AGENCY.</p>	<p><b>special inspector/site fabrication</b></p> <p>SPECIAL INSPECTOR/SITE FABRICATION IS REQUIRED FOR THE FOLLOWING ITEMS:</p> <p>REBAR TO SHEET FOR PROTECTION OF SPECIAL FABRICATION</p> <p>YES NO</p>	<p><b>design team</b></p> <p>OWNER: JOSEPH D. SANTIAGO</p> <p>ARCHITECT: [Redacted]</p> <p>ENGINEER: [Redacted]</p>	<p><b>vicinity map</b></p> <p>MAP SHOWING THE LOCATION OF THE PROJECT ON THE LOCAL STREET GRID.</p>	<p><b>project data</b></p> <p>PROJECT NUMBER: [Redacted]</p> <p>DATE: [Redacted]</p> <p>PROJECT TYPE: [Redacted]</p>	<p><b>sheet index</b></p> <p>THIS SET OF DRAWINGS IS COMPOSED OF THE FOLLOWING SHEETS:</p> <p>1. [Redacted]</p> <p>2. [Redacted]</p>	<p><b>general notes</b></p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p>	<p><b>mechanical notes</b></p> <p>1. MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE (CMC).</p> <p>2. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p>	<p><b>electrical notes</b></p> <p>1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE (CEC).</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p>	<p><b>abbreviations</b></p> <p>ALL ABBREVIATIONS USED IN THIS DRAWING ARE DEFINED IN THE FOLLOWING TABLE:</p>			
<p><b>JOSEPH D. SANTIAGO</b> 53385 PIONEER TOWN ROAD PIONEERTOWN, CA 92284</p>						<p><b>POINT / LEATHERMAN</b> <b>HISTORIC PRESERVATION PROJECT</b> <b>PIONEERTOWN HOUSE MOVE-ON</b></p>		<p><b>HI POINT HOUSE</b></p>		<p><b>excavation notes</b></p> <p>1. EXCAVATION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA EXCAVATION CODE (CEC).</p> <p>2. ALL EXCAVATION SHALL BE PROTECTED BY SHIELDING AND BRACING.</p>		<p><b>construction notes</b></p> <p>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE (CBC).</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p>	

Please note ALL plans titled "HISTORIC PRESERVATION PROJECT PIONEER TOWN HOUSE MOVE-ON"





# Impervious Area Plan



MOVE ON  
HISTORICAL STRUCTURE  
MAIN HOUSE

Proposed Land  
Disturbance Area  
1,604 SQ. FT

# Pioneer Town Rd.



# Tom Mix Tr.

## BMP legend

SYMBOL	DESCRIPTION
[Symbol]	PROPOSED IMPERVIOUS AREA
[Symbol]	EXISTING IMPERVIOUS AREA
[Symbol]	PROPOSED PERMEABLE AREA
[Symbol]	EXISTING PERMEABLE AREA
[Symbol]	PROPOSED BIOTOPIC AREA
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## bonded fiber matrix (BFM) notes

1. BFM SHALL BE INSTALLED IN ALL AREAS OF PROPOSED IMPERVIOUS AREA.
2. BFM SHALL BE INSTALLED IN ALL AREAS OF PROPOSED PERMEABLE AREA.
3. BFM SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA.
4. BFM SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE.
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7. BFM SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC AND BIOTOPIC.

## dust control notes

1. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED IMPERVIOUS AREA.
2. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED PERMEABLE AREA.
3. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA.
4. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE.
5. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC.
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7. DUST CONTROL MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC AND BIOTOPIC.

## slope protection notes

1. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED IMPERVIOUS AREA.
2. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED PERMEABLE AREA.
3. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA.
4. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE.
5. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC.
6. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC.
7. SLOPE PROTECTION MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC AND BIOTOPIC.

## storm water management notes

1. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED IMPERVIOUS AREA.
2. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED PERMEABLE AREA.
3. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA.
4. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE.
5. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC.
6. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC.
7. STORM WATER MANAGEMENT MEASURES SHALL BE INSTALLED IN ALL AREAS OF PROPOSED BIOTOPIC AREA WITH PERMEABLE AND BIOTOPIC AND BIOTOPIC AND BIOTOPIC.



**JOSEPH D. SANTIAGO**  
53385 PIONEER TOWN ROAD  
PIONEERTOWN, CA 92284

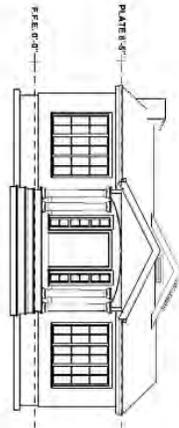
HI POINT CATHARMAN  
HISTORIC PRESERVATION PROJECT  
PIONEERTOWN HOUSE MOVE-ON

HI POINT HOUSE

A3.0.1

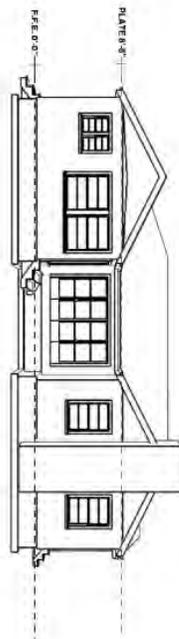






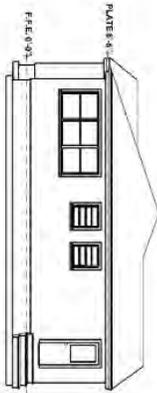
North Elevation

SCALE: 1/4" = 1'-0"



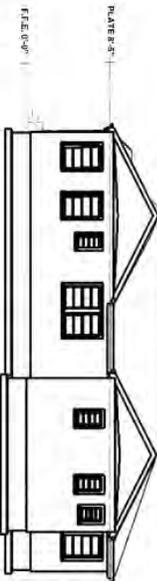
East Elevation

SCALE: 1/4" = 1'-0"



South Elevation

SCALE: 1/4" = 1'-0"



West Elevation

SCALE: 1/4" = 1'-0"

# ELEVATIONS

## general notes

**FIRE SAFETY OVERLAY ZONE:**  
 Substitutions of exterior cladding, siding, material or finish shall be approved by the Fire Safety Overlay Zone Administrator. The following requirements apply to any substitutions:  
 1. The proposed material shall be of equal or better fire resistance rating than the existing material.  
 2. The proposed material shall be of equal or better fire resistance rating than the existing material.  
 3. The proposed material shall be of equal or better fire resistance rating than the existing material.  
 4. The proposed material shall be of equal or better fire resistance rating than the existing material.

**ROOFING - Fire Safety Overlay Zone**  
 Roof covering shall be Class A, as specified in Section 0520-2-R002 (715A.2-R017.6.1).  
 Detail the gables between the roof covering and roof decking, the seams shall be constructed to resist the presence of flame, hot embers, or provide one (1) inch of 1/2" mineral surfaced non-petroleum based sheath meeting ASTM D3983 (715A.2-R017.6.2).  
 Wood shingle and wood shake roofs shall be PROHIBITED regardless of classification (715A.2-R017.6.2).  
 Note on the plans: "Roof gables shall be designed to prevent the accumulation of leaves and debris." (715A.2-R017.6.2)

**CONSTRUCTION REQUIREMENTS**  
 Building per the plans, roof and gable ends shall be constructed to resist support of loads as specified in 0520-2-R002. Other building contents, including elements necessary for utility or fire connections, shall be installed in accordance with the applicable code requirements. The building shall be constructed in accordance with the applicable code requirements. The building shall be constructed in accordance with the applicable code requirements. The building shall be constructed in accordance with the applicable code requirements.

**MOVE ON HISTORICAL STRUCTURE MAIN HOUSE**  
 The structure shall be moved to the new location in accordance with the applicable code requirements. The structure shall be moved to the new location in accordance with the applicable code requirements. The structure shall be moved to the new location in accordance with the applicable code requirements.



**JOSEPH D. SANTIAGO**  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284

POINT / LEATHERMAN  
 HISTORIC PRESERVATION PROJECT  
 PIONEERTOWN HOUSE MOVE-ON

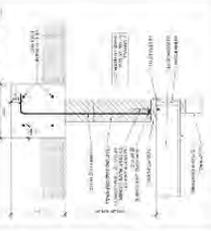
A3.2

**Design team**  
 JOSEPH D. SANTIAGO  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284  
 (760) 735-9295  
 www.jdsantiago.com



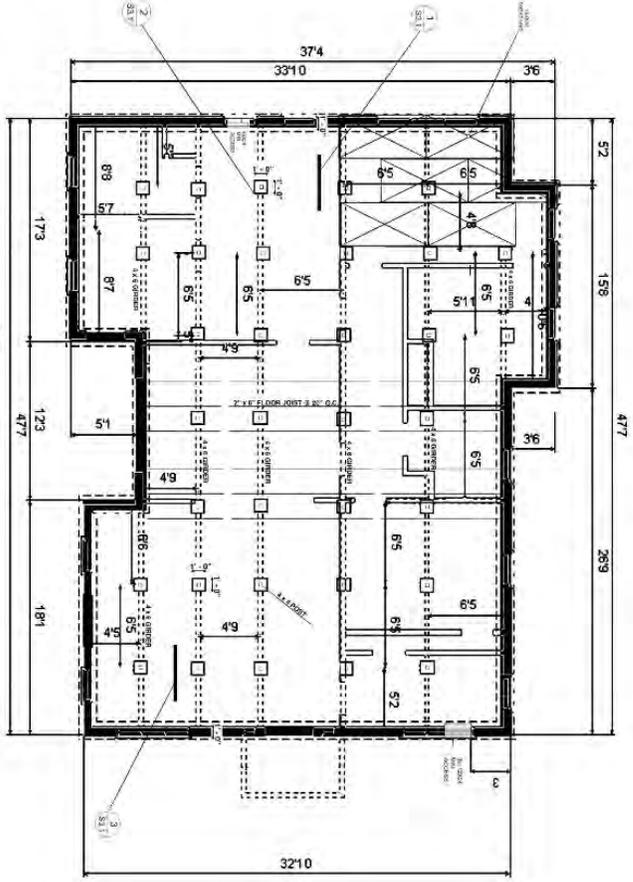
**ENGINEERING SPECS**  
 max soil pressure = 1500 psf  
 lateral passive pressure = 150 psf / ft  
 soil friction coefficient = 0.25  
 max wind speed = 140 mph  
 1. slabs w/ beam spacing 12 x 6  
 2. slabs w/ beam spacing 16 x 6  
 continuous footing with 4x anchor  
 slab min #3 rebar @ 24" O.C.

**SEALED UNDER ROOM WITH CODE 403.3**  
 1. floor joists  
 2. exterior walls  
 3. exterior windows  
 4. exterior doors  
 5. exterior roof  
 6. exterior stairs  
 7. exterior balconies  
 8. exterior ramps  
 9. exterior elevators  
 10. exterior mechanical equipment  
 11. exterior utility equipment  
 12. exterior lighting  
 13. exterior signage  
 14. exterior landscaping  
 15. exterior site work  
 16. exterior parking  
 17. exterior loading docks  
 18. exterior storage  
 19. exterior utility rooms  
 20. exterior mechanical rooms  
 21. exterior electrical rooms  
 22. exterior plumbing rooms  
 23. exterior fire escape  
 24. exterior fire alarm  
 25. exterior fire extinguishers  
 26. exterior fire hydrants  
 27. exterior fire pumps  
 28. exterior fire sprinklers  
 29. exterior fire alarm control panel  
 30. exterior fire alarm pull stations  
 31. exterior fire alarm horns  
 32. exterior fire alarm strobes  
 33. exterior fire alarm bells  
 34. exterior fire alarm sirens  
 35. exterior fire alarm speakers  
 36. exterior fire alarm detectors  
 37. exterior fire alarm initiators  
 38. exterior fire alarm annunciators  
 39. exterior fire alarm control units  
 40. exterior fire alarm control panels  
 41. exterior fire alarm control devices  
 42. exterior fire alarm control equipment  
 43. exterior fire alarm control systems  
 44. exterior fire alarm control networks  
 45. exterior fire alarm control protocols  
 46. exterior fire alarm control standards  
 47. exterior fire alarm control codes  
 48. exterior fire alarm control regulations  
 49. exterior fire alarm control laws  
 50. exterior fire alarm control orders  
 51. exterior fire alarm control decrees  
 52. exterior fire alarm control edicts  
 53. exterior fire alarm control proclamations  
 54. exterior fire alarm control edicts  
 55. exterior fire alarm control orders  
 56. exterior fire alarm control laws  
 57. exterior fire alarm control regulations  
 58. exterior fire alarm control codes  
 59. exterior fire alarm control standards  
 60. exterior fire alarm control protocols



**SS.1**

**FOUNDATION / FLOOR FRAMING PLAN**



**JOSEPH D. SANTIAGO**  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284

**POINT / LEATHERMAN**  
**HISTORIC PRESERVATION PROJECT**  
**PIONEERTOWN HOUSE MOVE-ON**

HI POINT HOUSE

## **Exhibit 4**



**\*\*INSERTED SHEET FOR SEPTIC APPROVAL ONLY\*\***

SFR-2021-00730 Septic plan only

County of San Bernardino  
 BUILDING AND SAFETY  
**APPROVED**  
 THESE PLANS AND DETAILS ARE THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED TO BE AN ENDORSEMENT OR GUARANTEE OF THE QUALITY OF THE WORK OR THE PERFORMANCE OF THE WORKMANSHIP OF THE CONTRACTOR.  
 BY: *[Signature]*  
 DATE: 12/20/21  
 THESE PLANS SHALL BE FOR THE USE FOR ALL REGULATED JURISDICTIONS



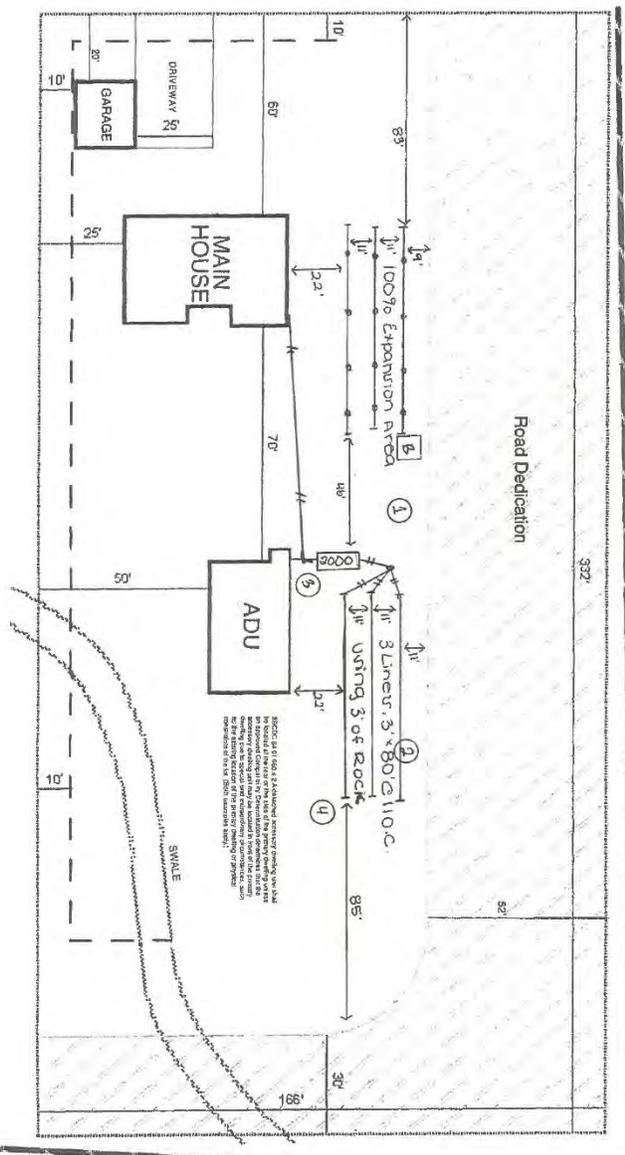
*[Handwritten Signature]* 42222

bump notes

landscape notes

general notes

landscape



Pioneer Town Rd.

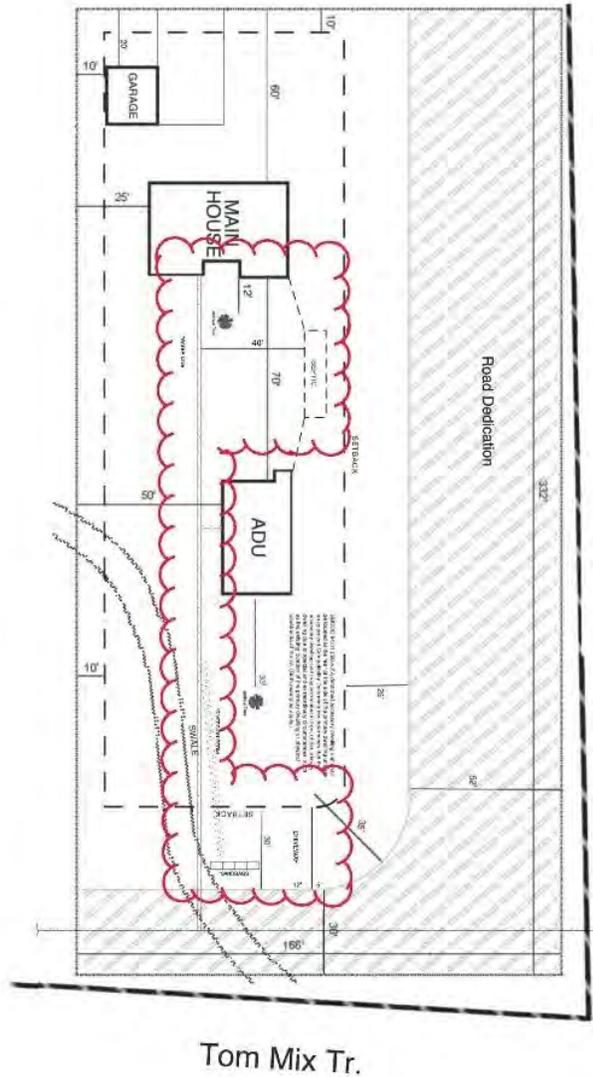
Site Plan

LOT AREA: 55,484 SQ. FT.





# Pioneer Town Rd.



Site Plan

### Special Inspection notes

1. SPECIAL INSPECTIONS ARE REQUIRED BY THE CITY OF PIONEERTOWN, CALIFORNIA.

### bmp notes

1. CONTRIBUTED STORMWATER SERVICES SHALL NOT BE STABLE.

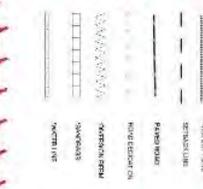
### landscape notes

1. NO LANDSCAPE IMPOVEDMENTS.
2. PROPOSED PLANTING HISTORY.

### general notes

1. THE APPLICANT SHALL VERIFY ALL CONVEYANCES, SOLID WASTE, AND OTHER REGULATORY REQUIREMENTS ARE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE APPLICANT SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PIONEERTOWN, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PIONEERTOWN, CALIFORNIA, ORDINANCES AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
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8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RIGHTS, REGULATIONS AND ORDINANCES.

### legends



A3.0

Joseph D. Santiago, Inc.  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284  
 760.734.0022

**JOSEPH D. SANTIAGO**  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284

HI POINT HOUSE

HI POINT / LEATHERMAN  
 HISTORIC PRESERVATION PROJECT  
 PIONEERTOWN HOUSE MOVE-ON









**Design team**

**OWNER:**  
**DR. CAROLINO**  
 3385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92078

**DESIGNER:**  
**JOE KUCIPE**  
 5331 693 3735

**ARCHITECT/ENGINEER:**  
**TRAVIS T. COLE**  
 6500 524 2838



**ENGINEERING SPECS**

max soil pressure = 1500 psf  
 lateral passive pressure = 150 psf / ft  
 soil friction coefficient = 0.25

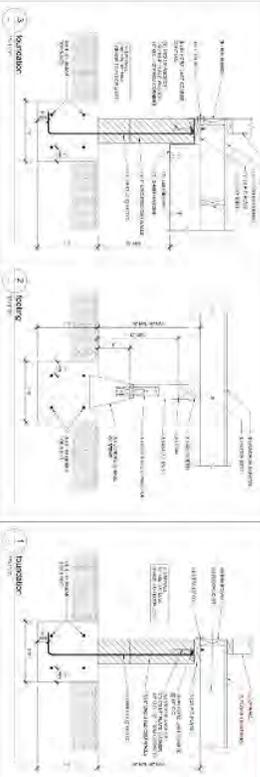
min1 footing (FCB) Section B103.1.1)  
 1 slope w/ crown Slopa 12 x 6  
 2 slope w/ crown Slopas 18 x 6

**ASTM A188**  
 continuous footing min #4 rebar  
 slab min #3 rebar @24" O.C.

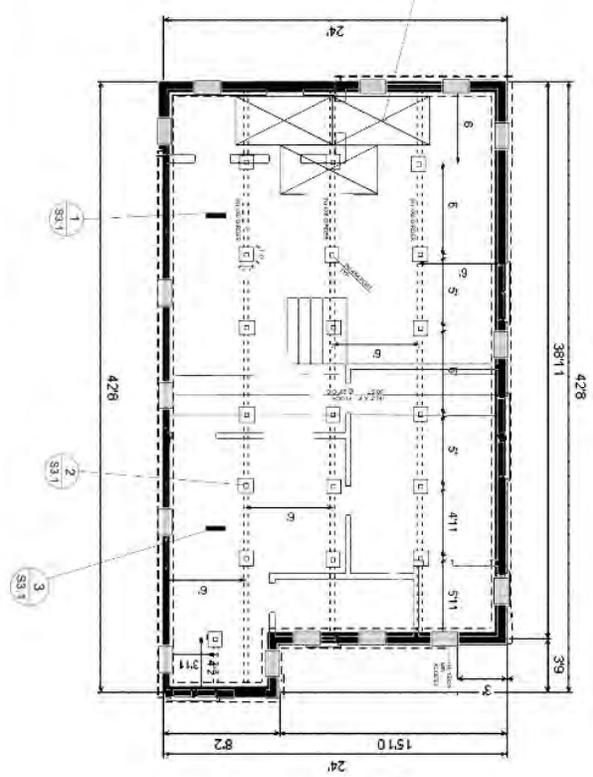
**SPAN BRACING UNDER FLOOR / VIBR CODE § 604.3**

\* per code for 8 ft span concrete  
 \* concrete slab with steel joist  
 \* continuous under floor  
 \* continuous under floor  
 \* continuous under floor

**Q.C. on board:**  steel  joist  joist  
 NI  roof  joist  
 ID  soffit  span wall



**FOUNDATION / FLOOR FRAMING PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



**Joe Kucipe**  
 Professional Engineer  
 License No. 45892  
 Mechanical  
 State of California  
 Exp. 12/31/2024

**JOSEPH D. SANTIAGO**  
 53385 PIONEER TOWN ROAD  
 PIONEERTOWN, CA 92284

**LEATHERMAN**  
 A.D.U.

**HI POINT / LEATHERMAN**  
 HISTORIC PRESERVATION PROJECT  
 PIONEERTOWN HOUSE MOVE-ON

**S3.1**

**MULTIPLE MISSING EXIBITS:**

- Garage Plans- also annotated "CHBC..." and titled " HISTORIC... MOVE-ON"
- Alleged 2023 "citation"
- ALL of CE 201903524 notices and citations.
- Alleged "1st Request" for permit extension.
- Alleged "public outcry"– no one showed at Hearing, no letters against.

# Exhibit 5

385 N. Arrowhead Avenue San Bernardino, CA 92415 | Phone: 909.387.8311 Fax: 909.387.3223

[www.SBCounty.gov](http://www.SBCounty.gov)



## Land Use Services Department Building and Safety Code Enforcement

Mark Wardlaw  
Director

Marlene Ambriz  
Assistant Director

Susan O'Strander  
Assistant Director

September 17, 2024

VIA CERTIFIED MAIL

Mr. Joseph Santiago  
403 10th Street  
Huntington Beach, CA 92648

**Subject: Notice of Permit Revocation – 53385 Pioneertown Road, APN 0594-201-09**

Dear Mr. Santiago,

On September 28, 2022, permits SFR-2021-00730, SFR-2021-00731 – Single Family Dwelling (SFD) and Accessory Dwelling Unit (ADU) respectively - were issued for the relocation of an SFD and ADU at the property identified as APN 0594-201-09. These permits were applied for and were issued in response to code enforcement case C201903524, which are still pending more than two years after the issuance date. On August 15, 2024, you also submitted a foundation plan details BREV-2024-00753

Considerable time has passed, and the required work remains incomplete. As a result, the property is now in a state of disrepair, creating a major nuisance within the community. San Bernardino County Land Use Services Department made multiple attempts to contact you to ensure that the project is completed per the approved plans. However, you have not responded and there has been insufficient progress toward completion.

This letter serves as formal notification that SFR-2021-00730 and SFR-2021-00731, are at imminent risk of revocation pursuant to Section 105.6 of the California Building Code based on a finding by the Building Official that justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.

### BOARD OF SUPERVISORS

COL. PAUL COOK (RET)  
Vice Chairman, First District

JESSE ARMENDAREZ  
Second District

DAWN ROWE  
Chair, Third District

CURT HAGMAN  
Fourth District

JOE BACA, JR.  
Fifth District

Luther Snoke  
Chief Executive Officer

To avoid revocation of these permits, and on good faith effort towards the active enforcement case, you are required to complete all identified following actions by the specified deadlines:

- **Foundation work completed by November 14, 2024:**
  - House bolted to foundation
  - ADU bolted to foundation
  - House and ADU foundation inspected, completed, and approved
- **Roof completed by December 10, 2024:**
  - Repair and replacement of roof framing for both House and ADU
  - Roof sheathing installed for both House and ADU
  - Class A roofing installed and completed for both House and ADU
  - House and ADU roofing inspected, completed and approved.

Both time frames must be met, failure to meet these requirements by the November 14, 2024, and December 10, 2024, deadlines, respectively, will result in the immediate revocation of the permits and this matter will be referred to San Bernardino County Code Enforcement for further action. There will be no more extensions for this permit.

I urge you to contact me immediately to discuss how we can work together to bring this project to a successful resolution.

Sincerely,

*Maged Soliman*

*Maged Soliman, PE, CBO, CASp*  
*Building Official*

*Land Use Services Department*  
385 N. Arrowhead Avenue, First Floor  
San Bernardino, CA 92415-0187

*Ignacio Nunez*

*Ignacio Nunez*  
*Code Enforcement Chief*

*Land Use Services Department*  
268 W. Hospitality Ln, Third Floor  
San Bernardino, CA 92408-0187

# Exhibit 6

385 N. Arrowhead Avenue San Bernardino, CA 92415 | Phone: 909.387.8311 Fax: 909.387.3223

[www.SBCounty.gov](http://www.SBCounty.gov)



## Land Use Services Department Building and Safety

Mark Wardlaw  
Director

Marlene Ambriz  
Assistant Director

Susan O'Strander  
Assistant Director

November 20, 2024  
Mr. Joseph Santiago  
403 10<sup>th</sup> Street  
Huntington Beach, CA 92648

VIA CERTIFIED MAIL

RE: Final Notice of Permit Revocation  
53385 Pioneertown Road, Pioneertown APN 0594-201-09

Dear Mr. Santiago:

This letter serves as formal notice of permit revocation for SFR-2021-00730, and SFR-2021-00731 (collectively "Permits"), pursuant to section 105.6 of the California Building Code and based on a finding by the Building Official that justifiable cause for extensions of the Permits have been issued based on incorrect, inaccurate, or incomplete information. The Building Official concludes that the history of the Permits and property inspections establish that justifiable cause for extension of the Permits did not exist.

In accordance with Section 63.0105 of the San Bernardino County Code, you have the right to appeal this decision. An application for an appeal must be filed within 20 days in accordance with Section 63.0105 of the San Bernardino County Code. Failure to timely file an application for an appeal shall constitute a waiver.

Any such appeal request shall be filed in person or by mail with the Building and Safety Division of the Land Use Services Department at 385 N. Arrowhead, First Floor, San Bernardino, CA 92415.

All appeals to the Building Appeals Board must be filed on an official "Building Appeals Application" form. These forms are available at the Land Use Services Department or at the following website: <https://lus.sbcounty.gov/building-and-safety-appeals-board/>. The application form must be filled out and clearly state those issues or portion of the order, decision, or determination being appealed since the Building Appeals Board will consider only those issues or portions which were raised on the application form.

Sincerely,

*Maged Soliman*

**Maged Soliman, PE, CBO, CASp**  
**Building Official**

**Land Use Services Department**  
385 N. Arrowhead Avenue, First Floor  
San Bernardino, CA 92415-0187

### BOARD OF SUPERVISORS

COL. PAUL COOK (RET.)  
Vice Chairman, First District

JESSE ARMENDAREZ  
Second District

DAWN ROWE  
Chair, Third District

CURT HAGMAN  
Fourth District

JOE BACA, JR.  
Fifth District

Lutliet Snake  
Chief Economic Officer

# Exhibit 7



County of San Bernardino  
Land Use Services Department

## BUILDING AND SAFETY DIVISION INSPECTION SUMMARY REPORT

<b>Inspection Date:</b> 11/07/2024	<b>Inspection Status:</b> Performed	<b>APN:</b> 0594201090000
<b>Permit Number:</b> SFR-2021-00730	<b>Permit Type:</b> New Construction	<b>Permit Issued Date:</b> 09/28/2022
<b>Owner:</b> SANTIAGO, JOSEPH D	<b>Site Address:</b> 53385 PIONEERTOWN RD PIONEERTOWN CA 92268	
<b>Inspector Name:</b> SAMUEL PENA	<b>Inspector Email:</b> Samuel.Pena@lus.sbcounty.gov	
<b>Permit Description:</b>	RELOCATE SINGLE FAMILY RESIDENCE OF 1604 SQ FT LIVABLE (Detached ADU Submitted Under: SFR-2021-00731 Detached Garage Submitted Under: ACCR-2020-00334) 1ST REVISION UNDER BREV-2024-00753 Foundation Plan Details for Existing Historic Subfloor	

### Result Inspection Comments:

PARTIAL APPROVAL AT FORMS.  
11-7-24. SP.

### Inspection Images



# Checklists

## Checklist: BLD\_RESNEW\_V2

### Setback

STATUS: Approved - 12/20/2022

### Foundation Reinforcing Steel

STATUS: Partially\_Approved

COMMENTS: 1. All interior pad footings to be 1'3" deep with (4) #4 each way TOP AND BOTTOM per plan details S3.1/ detail 2. Missing pad footings per plan details  
3. Contractor to wet set all j bolts (j bolts not on site at time of inspection)  
4. Contractor to set all GH468 hangers per plan S3.1/3 (Not on site at time of inspection)

\*\* SOUTH STEM WALL IS INCOMPLETE . Contractor has installed 1 corse. See photos above \*\*

East and West stem walls ok to pour

Jc 1-26-2024

Previous corrections #1 & 2 have been corrected and are RESOLVED. Contractor has sent a email video of the corrected pad footing depth, additional rebar and the missing pad footings  
Notes #3 & 4 remain  
Jc 2-28-2024

### Slab Grade

STATUS: Pending

### Underslab/floor Ducts

STATUS: Pending

### Joists and Girders

STATUS: Pending

### Mid-Height Bond Beam

STATUS: Partially\_Approved

COMMENTS: Permitter block foundation west and south west approved JC 3/17/2023

Permitter block foundation approximately 40% completer other inspections to follow.

### Final Bond Beam

STATUS: Pending

### Shear Panel

STATUS: Pending

### Erosion Control Inspection

STATUS: Corrections

COMMENTS: Provide erosion control methods as per plan details by following inspection Jc 1-26-2024

### Excavation and Forms

STATUS: Partially\_Approved - 11/07/2024

COMMENTS: 1. Pony wall for from half of building heading north approved with original existing framing. Provide additional anchor bolts at this section, must have a hold down within 12" of ends of sill plates.  
11-7-24. SP.



### Ground Plumbing

STATUS: Pending

### Fireplace Foundation

STATUS: Pending

### Electrical Ground

STATUS: Pending

### 8-Foot Bond Beam

STATUS: Pending

### Fireplace Bond Beam

STATUS: Pending

### Roof Sheathing

STATUS: Pending

<b>Combo</b> STATUS: Pending	<b>Rough Fire (Call Local Fire Dept.)</b> STATUS: Pending
<b>Framing and Ventilation</b> STATUS: Pending	<b>Roof Covering</b> STATUS: Pending
<b>Rough Electrical</b> STATUS: Pending	<b>Rough Plumbing</b> STATUS: Pending
<b>Rough Mechanical</b> STATUS: Pending	<b>Shower Pan Test</b> STATUS: Pending
<b>Insulation</b> STATUS: Pending	<b>Exterior Lath/Stucco or Siding</b> STATUS: Pending
<b>Lath or Drywall Nailing</b> STATUS: Pending	<b>Septic Tank</b> STATUS: Pending
<b>Leach Line or Seep Pit</b> STATUS: Pending	<b>Water Service</b> STATUS: Pending
<b>Gas Line Air Test</b> STATUS: Pending	<b>Electrical Service and Ground</b> STATUS: Pending
<b>Final Electrical</b> STATUS: Pending	<b>Final Plumbing</b> STATUS: Pending
<b>Final Mechanical</b> STATUS: Pending	<b>Final Grading Certification</b> STATUS: Pending
<b>Special Inspector Reports</b> STATUS: Pending	<b>Final Construction</b> STATUS: Pending
<b>Final Fire (Call Local Fire Dept.)</b> STATUS: Pending	<b>Other</b> STATUS: Pending

# Exhibit 8



County of San Bernardino  
Land Use Services Department

## BUILDING AND SAFETY DIVISION INSPECTION SUMMARY REPORT

**Permit Type:** New Construction **APN:** 0594201090000  
**Permit Issued Date:** 10/25/2024 **Owner:** SANTIAGO, JOSEPH D  
**Permit Number:** SFR-2021-00731 **Site Address:** 53385 PIONEERTOWN RD,  
PIONEERTOWN, CA 92268  
**Permit Description:** RELOCATE ADU OF 960 SQ FT

(Single Family Residence Submitted Under: SFR-2021-00731  
Detached Garage Submitted Under: ACCR-2020-00334) (1st Revision under BREV-2024-01000-  
Add (E) Subfloor to Foundation Plan Detail (already approved for SFR 2021-00730)

**General Comments:** CONTINUOUS (PERIMETER) FOUNDATION REINF. STEEL APPROVED, SPREAD/PIER  
FOUNDATIONS PENDING.  
10/17/22 JF

ITEMS INSPECTED	RESULT	DATE
Temporary Power	Pending	12/20/2022
Setback	Approved	12/20/2022
Erosion Control Inspection	Pending	12/20/2022
Rough Grading Certification	Pending	12/20/2022

385 N. Arrowhead Ave. First Floor, San Bernardino, CA 92415 | Phone 909.387.8311 • Fax: 909.387.3223

10/18/01/02

**DO NOT REMOVE THIS NOTICE**

Page 1 of 5

ITEMS INSPECTED	RESULT	DATE
<b>Foundation Reinforcing Steel</b>  CONTINUOUS (PERIMETER) FOUNDATION REINF. STEEL APPROVED. SPREAD/PIER FOUNDATIONS PENDING. 10/17/22 JF	Partially Approved	12/20/2022
<b>Excavation and Forms</b>	Partially Approved	12/20/2022
<b>Ground Plumbing</b>	Pending	12/20/2022
<b>Underslab/floor Ducts</b>	Pending	12/20/2022
<b>Fireplace Foundation</b>	Pending	12/20/2022
<b>Joists and Girders</b>	Pending	12/20/2022
<b>Electrical Ground</b>	Pending	12/20/2022
<b>Mid-Height Bond Beam</b>	Pending	12/20/2022
<b>8-Foot Bond Beam</b>	Pending	12/20/2022
<b>Final Bond Beam</b>	Pending	12/20/2022
<b>Fireplace Bond Beam</b>	Pending	12/20/2022

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v.18.01.02

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Page 2 of 5

# Exhibit 9



385 N. Arrowhead Ave., First Floor, San Bernardino, CA 92415 | Phone: 909.387-8311 • Fax: 909.387.3223

EMAIL: [LUSCustomerService@lus.sbcounty.gov](mailto:LUSCustomerService@lus.sbcounty.gov)

## Land Use Services Department Building & Safety Division

### Extension Request Form for Building Applications and Permits

Project Address: 53385 Pioneertown Rd Permit Number: SFR 2021-00730  
Applicant's Name/Company: Joseph D Santiago  
Address: 403 10th Street City: Huntington Beach State: CA  
Email: graphicviolencedesn@yahoo.com Phone: 714-206-1965

**Building Permit Application:** Plan Review applications are valid for 180 days from the date of the application. Within this timeframe you may obtain a building permit or, if you run out of time, you may submit a written request for an extension. The request must explain the reason preventing the building permit from being obtained. If the permit has not been obtained or an extension requested within 180 days from the date of the application, the plan review may expire. If approved, residential permit applications may be extended 180 days and commercial permit applications may be extended 90 days.

**Building Permits:** Issued building permits are valid if the building or work authorized by a permit is started within 360 days from the date of permit issuance or, if after the work has started, the building or work authorized by the permit is not suspended or abandoned for a period in excess of 180 days. If you run out of time, you may submit a written request for an extension to avoid the permit from expiring. The request must explain the reason preventing action from being taken.

The timeframe for review of building application and permit extension requests is five business days.

Please check one of the following:

- I am requesting an extension for my building permit plan review application.  
 I am requesting an extension for my building permit.

Reason for Extension Request:

I have a plan change to submit in order to continue the project and so cannot meet my 180-day c  
I will be submitting the plan changes immediately after submitting this extension request. The  
This historic preservation project like most of its kind is not typical and can be misperceived a  
The standard 180-days doesn't provide flexibility needed to adapt that the State Historic Build  
I've been told there is a Code Enforcement case open on the property, specifically about the s

Is there an active code enforcement violation case on this site:  Yes  No

Signature: [Signature]

Date: 7/22/2024

Print Name: Joseph D Santiago

Check One:  Property Owner  Permit Holder

Other \_\_\_\_\_

#### Official Use Only

Date Request Received: 07/30/24 Permit Number: SFR-2021-00730

Extension:  Granted/Length of Extension 180- Days  Not Granted/Comment \_\_\_\_\_

Previous Expiration Date: 07/28/24 New Expiration Date: 01/28/25

Name: George Pahl Title: Regional Inspection Supervisor

Signature: [Signature]

Date: 7/30/24

Submitted prior to 30-day deadline with guidance from Staff at every step.



### Land Use Services Department Building & Safety Division

#### Extension Request Form for Building Applications and Permits

Project Address: 53385 Pioneertown Rd Permit Number: SFR 2021-00731  
 Applicant's Name/Company: Joseph D Santiago  
 Address: 403 10th Street City: Huntington Beach State: CA  
 Email: graphicviolencedesn@yahoo.com Phone: 714-206-1965

**Building Permit Application:** Plan Review applications are valid for 180 days from the date of the application. Within this timeframe you may obtain a building permit or, if you run out of time, you may submit a written request for an extension. The request must explain the reason preventing the building permit from being obtained. If the permit has not been obtained or an extension requested within 180 days from the date of the application, the plan review may expire. If approved, residential permit applications may be extended 180 days and commercial permit applications may be extended 90 days.

**Building Permits:** Issued building permits are valid if the building or work authorized by a permit is started within 360 days from the date of permit issuance or, if after the work has started, the building or work authorized by the permit is not suspended or abandoned for a period in excess of 180 days. If you run out of time, you may submit a written request for an extension to avoid the permit from expiring. The request must explain the reason preventing action from being taken.

The timeframe for review of building application and permit extension requests is five business days.

Please check one of the following:

- I am requesting an extension for my building permit plan review application.
- I am requesting an extension for my building permit.

Reason for Extension Request:

I have a plan change to submit in order to continue the project and so cannot meet my 180-day deadline. I will be submitting the plan changes immediately after submitting this extension request. This historic preservation project like most of its kind is not typical and can be misperceived as a standard 180-day project. The standard 180-days doesn't provide flexibility needed to adapt that the State Historic Building Code. I've been told there is a Code Enforcement case open on the property, specifically about the site.

Is there an active code enforcement violation case on this site:  Yes  No

Signature: [Signature] Date: 7/22/2024

Print Name: Joseph D Santiago Check One:  Property Owner  Permit Holder

Other \_\_\_\_\_

----- Official Use Only -----

Date Request Received: 07/30/24 Permit Number: SFR-2021-00730

Extension:  Granted/Length of Extension 180- Days  Not Granted/Comment \_\_\_\_\_

Previous Expiration Date: 07/28/24 New Expiration Date: 01/28/25

Name: George Pahl Title: Regional Inspection Supervisor

Signature: [Signature] Date: 7/30/24

Submitted prior to 30-day deadline with guidance from Staff at every step.



Unlawful action with multiple false allegations used as justification.

## **Exhibit 11**

### **SAN BERNARDINO COUNTY BUILDING AND SAFETY APPEALS BOARD WRITTEN DETERMINATION RE THE APPEAL OF JOSEPH D. SANTIAGO**

We, the Building and Safety Appeals Board (the “Board”) of San Bernardino County (the “County”), pursuant to Section 63.0105(d)(11)(g) of the San Bernardino County Code (the “SBCC”), hereby issue the following written decision.

**WHEREAS**, on November 20, 2024, the County Building Official revoked Permits No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 related to the construction and establishment of a primary single-family residence (the “SFR”), a detached accessory dwelling unit (the “ADU”) and a detached garage, respectively, at 53385 Pioneertown Road in the unincorporated community of Pioneertown (the “Property”).

**WHEREAS**, pursuant to Section 63.0105(c) of the SBCC, an appeal of the Building Official’s determination was filed by the permittee and property owner, Mr. Joseph D. Santiago (the “Appellant”) challenging the revocation of “Permits SFR-2021-00730, SFR-2021-00731, (and expiry of ACCR-2020-00334) [collectively the “Permits]” (the “Appeal”).

**WHEREAS**, on February 3, 2025, the Board heard and considered the Appeal. The Board reviewed the record of the proceedings in this matter, the written documents submitted by the Appellant and the Land Use Services Department (the “Department”), and the oral arguments and testimony of the parties and interested persons.

**WHEREAS**, the Board finds the evidence supports the Building Official’s revocation of the Permits pursuant to Section 105.6 of the California Building Code (the “CBC”), which is adopted and incorporated by reference into the SBCC.

**WHEREAS**, the Board finds that construction activity at the project site had been suspended or abandoned and that justifiable cause for an extension of the Permits did not exist due to previous delays and time afforded the Appellant, the lack of work that has occurred on the Property since issuance of the Permits, and the incorrect and inaccurate claim that the structures are subject to historical building standards.

**WHEREAS**, the Board further finds that the evidence establishes that the condition of the structures and Property were unsafe and a danger to human life or the public welfare based on the structure being improperly supported, in pieces, unsecured, and exposed in violation of the CBC and SBCC.

**WHEREAS**, the Board denies the appeal and upholds the Building Official’s decision to revoke the Permits.

**RESOLVED**, that the recitals above are true and correct and are hereby adopted as the findings and determination of the Board.

---

Scott Rice  
Chair, Building and Safety Appeals Board

Unlawful action with multiple false allegations used as justification.

## **Exhibit 12**

### **SAN BERNARDINO COUNTY BUILDING AND SAFETY APPEALS BOARD WRITTEN DETERMINATION RE THE APPEAL OF JOSEPH D. SANTIAGO**

We, the Building and Safety Appeals Board (the “Board”) of San Bernardino County (the “County”), pursuant to Section 63.0105(d)(11)(g) of the San Bernardino County Code (the “SBCC”), hereby issue the following written decision.

**WHEREAS**, on November 20, 2024, the County Building Official revoked Permits No. SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334 related to the construction and establishment of a primary single-family residence (the “SFR”), a detached accessory dwelling unit (the “ADU”) and a detached garage, respectively, at 53385 Pioneertown Road in the unincorporated community of Pioneertown (the “Property”).

**WHEREAS**, pursuant to Section 63.0105(c) of the SBCC, an appeal of the Building Official’s determination was filed by the permittee and property owner, Mr. Joseph D. Santiago (the “Appellant”) challenging the revocation of “Permits SFR-2021-00730, SFR-2021-00731, (and expiry of ACCR-2020-00334) [collectively the “Permits]” (the “Appeal”).

**WHEREAS**, on February 3, 2025, the Board heard and considered the Appeal. The Board reviewed the record of the proceedings in this matter, the written documents submitted by the Appellant and the Land Use Services Department (the “Department”), and the oral arguments and testimony of the parties and interested persons.

**WHEREAS**, the Board finds the evidence does not support the Building Official’s revocation of the Permits pursuant to Section 105.6 of the California Building Code (the “CBC”), which is adopted and incorporated by reference into the SBCC.

**WHEREAS**, the Board grants the appeal and sets aside the Building Official’s decision to revoke the Permits. The Board directs the Department to return the Permits to regular status.

**RESOLVED**, that the recitals above are true and correct and are hereby adopted as the findings and determination of the Board.

---

Scott Rice  
Chair, Building and Safety Appeals Board



# STATE HISTORICAL BUILDING SAFETY BOARD

## Historic Registries

HISTORIC RESOURCES INVENTORY

Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_ Loc \_\_\_\_\_  
UTM: A \_\_\_\_\_ B \_\_\_\_\_  
C \_\_\_\_\_ D \_\_\_\_\_

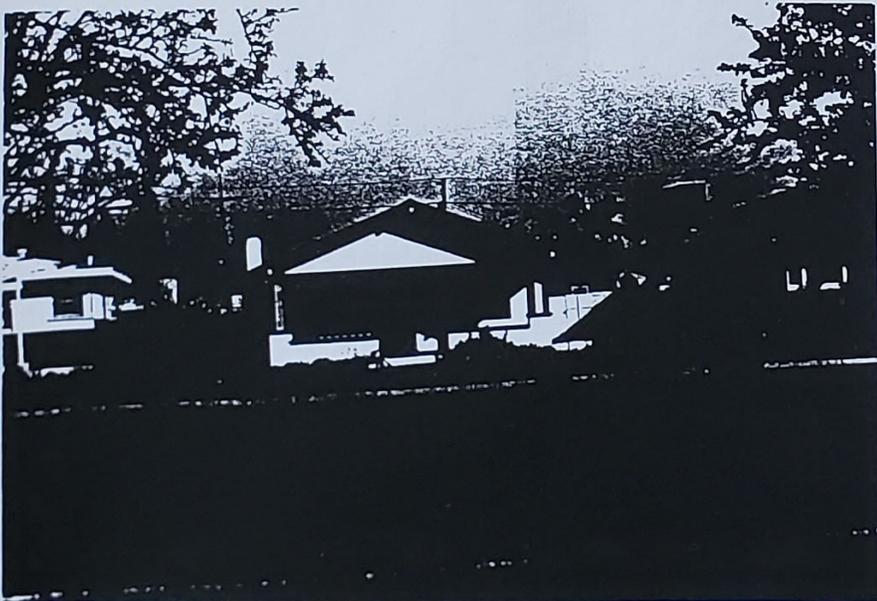
IDENTIFICATION

1. Common name: \_\_\_\_\_
2. Historic name: \_\_\_\_\_
3. Street or rural address: 1816 Main Street  
City Huntington Beach Zip 92648 County Orange
4. Parcel number: 023-062-14
5. Present Owner: Buelah Stephens Address: 1816 Main Street  
City Huntington Beach Zip 92648 Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Residence Original use: Residence

DESCRIPTION

- 7a. Architectural style: California Bungalow
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

A wide, medium-pitched front-facing gabled roof caps the single-story California Bungalow shown below. The exterior is clad in stucco. Triangular brackets accent the gable corners. The full recessed front porch is supported by pairs of square columns resting on stucco clad piers. Lattice-work has been added between the columns. The porch railing is clad in stucco and has a concrete cap. A set of three 4-over-1 double-hung windows is balanced by a plate glass window in the north side of the wide, Craftsman-style front door. Double-hung windows are used throughout. A gabled square bay is located on the south side.



8. Construction date:  
Estimated \_\_\_\_\_ Factual 1917
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)  
Frontage 60' Depth 117.5'  
or approx. acreage \_\_\_\_\_
12. Date(s) of enclosed photograph(s)  
8-86

13. Condition: Excellent \_\_\_ Good X Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: Shutters, gable window and dormers, small casement windows
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up \_\_\_  
Residential X Industrial \_\_\_ Commercial \_\_\_ Other: \_\_\_
16. Threats to site: None known \_\_\_ Private development X Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_
17. Is the structure: On its original site? \_\_\_ Moved? \_\_\_ Unknown? X
18. Related features: Picket fence and arbor in front

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

This building retains much of its architectural integrity and contributes to the architectural and historical streetscape of the City of Huntington Beach. Collectively, these buildings reflect the broad patterns of history that shaped the seaside, oil-production community.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
Architecture 1 Arts & Leisure \_\_\_  
Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_  
Government \_\_\_ Military \_\_\_  
Religion \_\_\_ Social/Education \_\_\_
21. Sources (List books, documents, surveys, personal interviews and their dates).

22. Date form prepared 7/86  
By (name) D. Marsh  
Organization Thirtieth Street Architects, Inc.  
Address: 2821 Newport Blvd.  
City Newport Beach Zip 92663  
Phone: (714) 673-2643





Address of Building

1565 Hi Point Street



### CITY OF LOS ANGELES CERTIFICATE OF OCCUPANCY

**Note:** Any change of use or occupancy must be approved by the Department of Building and Safety. This certifies that, so far as ascertained or made known to the undersigned, the vacant land, building or portion of a building described below and located at the above address complies with the applicable construction requirements (Chapter 9) and/or the applicable zoning requirements (Chapter 1) of the Los Angeles Municipal Code for the use, or occupancy group in which it is classified.

Issued 8-21-79 Permit No. and Year LA74655-LA74656 - 1978

One-story, Type V, 38'3" x 47'9"; one-family dwelling. R Occupancy

One-story, Type V, 20' x 20', detached two-car garage. Accessory to R Occupancy

R E L O C A T I O N

Owner

C.C.M. Financial

Owner's Address

14021 Marquesas Way

Marina Del Rey, California 90291  
RELOCATED PERMIT 465

0 0 9 0 0 2 0 0 4 6 5

Form B-95b

BY W. KRAMBO rf

**2 APPLICATION FOR INSPECTION AND FOR CERTIFICATE OF OCCUPANCY** **CITY OF LOS ANGELES** **DEPT. OF BUILDING AND SAFETY**  
**EXEMPT ON FILE** B-2-R.8.76

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	TO LOT 26	BLK.	TRACT 3909	DIST. MAP 5714
	FROM LOT 75	BLK.	TRACT Del Mar	CENSUS TRACT 2167.00
2. PRESENT USE OF BUILDING	(01) One-fam. dwelling		NEW USE OF BUILDING (01) One-fam. dwelling	ZONE R3-1-0
3. NEW ADDRESS	1565 Hi Point Street			FIRE DIST.
4. BETWEEN CROSS STREETS	Pickford	AND Saturn		LOT (TYPE) Corner
5. PRESENT ADDRESS	12806 Pacific Avenue		CITY 2722.00	CENSUS TRACT
6. OWNER'S NAME	C.C.M. Financial		PHONE 822-2436	LOT SIZE 54x170
7. OWNER'S ADDRESS	14021 Marquesas Way		CITY MARINA DEL REY 90291	ALLEY /
8. CERT. ARCH. OR LIC. ENGR.	BUS LIC NO C 9577	ACTIVE STATE LIC NO 450-5022	PHONE	BLDG. LINE 15' R
9. CONTRACTOR	To be selected		PHONE	AFFIDAVITS
10. BRANCH LENDER	To be selected		CITY	17 to 7/29/62
11. SIZE OF EXISTING BLDG.	WIDTH 38'3"	LENGTH 57'5"	STORIES 1	HEIGHT 14
12. CONST. MATERIAL OF EXISTING BLDG.	Wood Siding		ROOF Asphalt	FLOOR Wood
13. NEW ADDRESS	1565 Hi Point Street			SEISMIC STUDY ZONE
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 1,400.00			DISTRICT OFFICE LA
15. NEW WORK: (Describe)	Relocate and restore as a one-family dwelling			CRIT. SOIL /
NEW USE OF BUILDING	NEW SIZE OF BLDG. 38'3" x 47'9"	CASH BOND	SEWER CAP PERMIT NO.	HIGHWAY DED. /
TYPE V	GROUP OCC. R	BLDG. AREA 1755'	SA 217571	FLOOD /
DWELL. UNITS N/C	MAX OCC. One-fam.	TOTAL	SURETY BOND \$14,500.00 12/13/78	CONS. Yes
GUEST ROOMS	PARKING REQ'D. 2	PARKING PROVIDED STD. 2 COMP.	PLANS CHECKED Kendig '76	ZONED BY Brethour
SPRINKLERS REQ'D SPECIFIED NO	CONT. INSP.		PLANS APPROVED Kendig	FILE NO 16971
I.C. \$64.09	S.F.C. \$75.46	P.M.	INSPECTION ACTIVITY	INSPECTOR R. Grimshaw
P.C. NO.	APPLICATION EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES 120 DAYS FROM ISSUANCE DATE. <i>no entry</i>			TYPIST

CASHIER'S USE ONLY

JUN -6-78	64230	Y - 6 CK	125.00
DEC-13-78	44880 E	•74655	U = 6 CK 64.09
DEC-13-78	44881 E	•74655	U = 1 CK 75.46

**STATEMENT OF RESPONSIBILITY**

The issuance of this permit will not violate any deed restrictions of record. The purchase of either site or building for relocation purposes until this application is approved is at my own risk. This is an application only and does not guarantee approval. The building when relocated must be repaired so as not to be detrimental to property within 1000 feet of the new site. I certify that in doing the work specified herein I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance. "This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (Sec. 91.0202 L.A.M.C.)

Signed: R. Thomas Merrill MUST BE SIGNED BY OWNER

Bureau of Engineering	ADDRESS APPROVED Christian	6-6-78
	DRIVEWAY J. Chin	6-6-78 Use
	HIGHWAY DEDICATION	REQUIRED Existing
		COMPLETED
	FLOOD CLEARANCE	
	SEWERS	X SEWERS AVAILABLE J. Chin WLA
		NOT AVAILABLE
	NO SEWER/PLUMBING REQ'D.	SFC PAID
	SFC NOT APPLICABLE	X SFC DUE \$348.00 J. Chin 6-6-78
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)	
Housing	HOUSING AUTHORITY APPROVAL	
Planning	APPROVED UNDER CASE #	
Construction Tax	RECEIPT NO	DWELLING UNITS

87 01834

CITY OF HUNTINGTON BEACH  
OFFICE OF THE CITY CLERK  
2000 MAIN STREET  
HUNTINGTON BEACH, CALIF. 92648

# Historic Resources Survey Report

## City of Huntington Beach

INSTITUTE OF GOVERNMENTAL  
STUDIES LIBRARY

MAY 4 1987

UNIVERSITY OF CALIFORNIA

September, 1986

Thirtieth Street Architects, Inc.

CITY OF HUNTINGTON BEACH HISTORICAL SURVEY					
STREET	STYLE	ALTERATIONS	DATE	RATING	
111-115	7TH STREET	SPANISH COLONIAL	MINOR	1910'S	B-
121	7TH STREET	CALIF BUNGALOW	SUBSTANTIAL	1920	C
123	7TH STREET	SPANISH COLONIAL	MINOR	1910'S	C
124	7TH STREET	CALIF BUNGALOW	MINOR	1920	B-
126	7TH STREET	(DUPLICATE)	MINOR	1930'S	C
127	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
215	7TH STREET	CRAFTSMAN BUNGALOW	MODERATE	1920'S	C
311	7TH STREET	COTTAGE	MINOR	1925	C
312	7TH STREET	COTTAGE	MINOR	1910'S	C
316	7TH STREET	CRAFTSMAN	MODERATE	LATE 20'	C
317	7TH STREET	PERIOD REVIVAL	MINOR	LATE 20'	C+
320	7TH STREET	COTTAGE	MINOR	LATE 20'	C
322	7TH STREET	COTTAGE	MODERATE	LATE 20'	C
326	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	B-
401-403	7TH STREET	CRAFTSMAN APARTMENTS	MODERATE	1920'S	B
402	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
406	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	C
410	7TH STREET	FARMHOUSE	MODERATE	1920	C
412	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920	C
416	7TH STREET	CALIF BUNGALOW	SUBSTANTIAL	1920	D
422	7TH STREET	RANCH	MINOR	1930'S	D
423	7TH STREET	SPANISH COLONIAL	SUBSTANTIAL	1920'S	D
427	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
428	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	B
503	7TH STREET	CALIF BUNGALOW	MINOR	1920	C+
504	7TH STREET	CRAFTSMAN BUNGALOW	SEVERE	1920	D
506	7TH STREET	NEO-CLASSICAL	MODERATE	1910'S	C
508	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	C
510	7TH STREET	COTTAGE	MINOR	1920'S	C
514	7TH STREET	COTTAGE	MINOR	1920'S	C
523	7TH STREET	COTTAGE	MINOR	1920'S	D
526	7TH STREET	CRAFTSMAN BUNGALOW	SUBSTANTIAL	EARLY 20	D
527	7TH STREET	CALIF BUNGALOW	MINOR	1920'S	C
601	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920	C
605	7TH STREET	COTTAGE (TINY)	MINOR	1920	C
607	7TH STREET	COTTAGE (TINY)	MINOR	1920	D
609	7TH STREET	COTTAGE	MINOR	1910'S	C
613	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
617	7TH STREET	COTTAGE	MINOR	1920'S	C
619	7TH STREET	COTTAGE	MINOR	1920'S	C
627	7TH STREET	RANCH	MINOR	1940'S	C

~~506~~

ADU

406	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	C
410	7TH STREET	FARMHOUSE	MODERATE	1920	C
412	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920	C
416	7TH STREET	CALIF BUNGALOW	SUBSTANTIAL	1920	D
422	7TH STREET	RANCH	MINOR	1930'S	D
423	7TH STREET	SPANISH COLONIAL	SUBSTANTIAL	1920'S	D
427	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
428	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	B
503	7TH STREET	CALIF BUNGALOW	MINOR	1920	C+
504	7TH STREET	CRAFTSMAN BUNGALOW	SEVERE	1920	D
506	7TH STREET	NEO-CLASSICAL	MODERATE	1910'S	C
508	7TH STREET	NEO-CLASSICAL	MINOR	1910'S	C
510	7TH STREET	COTTAGE	MINOR	1920'S	C
514	7TH STREET	COTTAGE	MINOR	1920'S	C
523	7TH STREET	COTTAGE	MINOR	1920'S	D
526	7TH STREET	CRAFTSMAN BUNGALOW	SUBSTANTIAL	EARLY 20	D
527	7TH STREET	CALIF BUNGALOW	MINOR	1920'S	C
601	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920	C
605	7TH STREET	COTTAGE (TINY)	MINOR	1920	C
607	7TH STREET	COTTAGE (TINY)	MINOR	1920	D
609	7TH STREET	COTTAGE	MINOR	1910'S	C
613	7TH STREET	CRAFTSMAN BUNGALOW	MINOR	1920'S	C
617	7TH STREET	COTTAGE	MINOR	1920'S	C
619	7TH STREET	COTTAGE	MINOR	1920'S	C
627	7TH STREET	RANCH	MINOR	1940'S	C



ADU

87 01834

CITY OF HUNTINGTON BEACH  
OFFICE OF THE CITY CLERK  
2000 MAIN STREET  
HUNTINGTON BEACH, CALIF. 92648

## Historic Resources Survey Report

### City of Huntington Beach

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September, 1986

Thirtieth Street Architects, Inc.

CITY OF HUNTINGTON BEACH HISTORICAL SURVEY

STREET	STYLE	ALTERATIONS	DATE	RATING
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STREET	STYLE	ALTERATIONS	DATE	RATING
* 711	MAIN STREET	SPANISH RANCH	NONE	1925 C
713	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1915 C
718	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910 B+
721	MAIN STREET	40'S COLONIAL	NONE	1940 C-
722	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1905 C
724	MAIN STREET	COLONIAL REVIVAL	MINOR	1910 C
726	MAIN STREET	CALIF BUNGALOW	NONE	1915 C
727	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910 B
730	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1910 C
731	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910 C
734	MAIN STREET	40'S RANCH	MINOR	1940 B
735	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910 C-
737	MAIN STREET	SPANISH RANCH	NONE	1930 C
738-740	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1908 B+
741	MAIN STREET	CALIF BUNGALOW	NONE	1915 C
742	MAIN STREET	SPANISH COLONIAL	NONE	1925 C
752	MAIN STREET	SPANISH COLONIAL	MINOR	1915 C
755	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1910 C
801	MAIN STREET	CRAFTSMAN BUNGALOW	MODERATE	1915 D
804	MAIN STREET	SPANISH COLONIAL	MINOR	1928 C+
806	MAIN STREET	COLONIAL REVIVAL	NONE	1905 B
810	MAIN STREET	SPANISH COLONIAL	NONE	1925 B
814-816	MAIN STREET	BUNGALOW COURT	NONE	1910 B
815	MAIN STREET	COLONIAL REVIVAL	MINOR	1905 B
817	MAIN STREET	40'S COLONIAL	NONE	1940 C+
821	MAIN STREET	40'S RANCH	NONE	1940 C
833	MAIN STREET	SPANISH RANCH	SUBSTANTIAL	1930 D
902	MAIN STREET	COLONIAL	NONE	1940 C
908	MAIN STREET	COLONIAL	NONE	1940 C+
912-914	MAIN STREET	SPANISH COLONIAL	NONE	1925 C+
918	MAIN STREET	40'S RANCH	NONE	1940 C-
920	MAIN STREET	40'S COLONIAL	MODERATE	1940 C-
924	MAIN STREET	40'S RANCH	NONE	1940 C-
1010	MAIN STREET	40'S INTERNATIONAL	MINOR	1942 D
1024	MAIN STREET	PERIOD REVIVAL	MINOR	1930 C+
1030	MAIN STREET	40'S RANCH	MINOR	1940 C-
1104	MAIN STREET	40'S RANCH	MINOR	1940 C-
1129	MAIN STREET	COLONIAL	NONE	1940 C
1200 BLOCK	MAIN STREET	NONE		
1300 BLOCK	MAIN STREET	NONE		
1400 BLOCK	MAIN STREET	NONE		
1500 BLOCK	MAIN STREET	NONE		
1600 BLOCK	MAIN STREET	NONE		
1002	MAIN STREET	SPANISH COLONIAL	NONE	1925 C
1812	MAIN STREET	COLONIAL REVIVAL	MINOR	1905 D
1814	MAIN STREET	40'S RANCH	MINOR	1942 C-
* 1815	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1915 C
1905	MAIN STREET	MEDITERRANEAN	NONE	1926 A

GARAGE

	MAIN STREET	40'S RANCH	NONE	1940	C
	MAIN STREET	40'S COLONIAL	MODERATE	1940	C
	MAIN STREET	40'S RANCH	NONE	1940	C
	MAIN STREET	40'S INTERNATIONAL	MINOR	1942	D
	MAIN STREET	PERIOD REVIVAL	MINOR	1930	C
	MAIN STREET	40'S RANCH	MINOR	1940	C
	MAIN STREET	40'S RANCH	MINOR	1940	C
	MAIN STREET	COLONIAL	NONE	1940	C
K	MAIN STREET	NONE			
K	MAIN STREET	NONE			
K	MAIN STREET	NONE			
K	MAIN STREET	NONE			
K	MAIN STREET	NONE			
	MAIN STREET	SPANISH COLONIAL	NONE	1925	C
	MAIN STREET	COLONIAL REVIVAL	MINOR	1905	D
	MAIN STREET	40'S RANCH	MINOR	1942	C
	MAIN STREET	CRAFTSMAN BUNGALOW	MINOR	1915	C
	MAIN STREET	MEDITERRANEAN	NONE	1926	A



# STATE HISTORICAL BUILDING SAFETY BOARD

## Appellant Presentation

# 53385 Pioneertown Road

## Notice of Permit Revocation Appeal

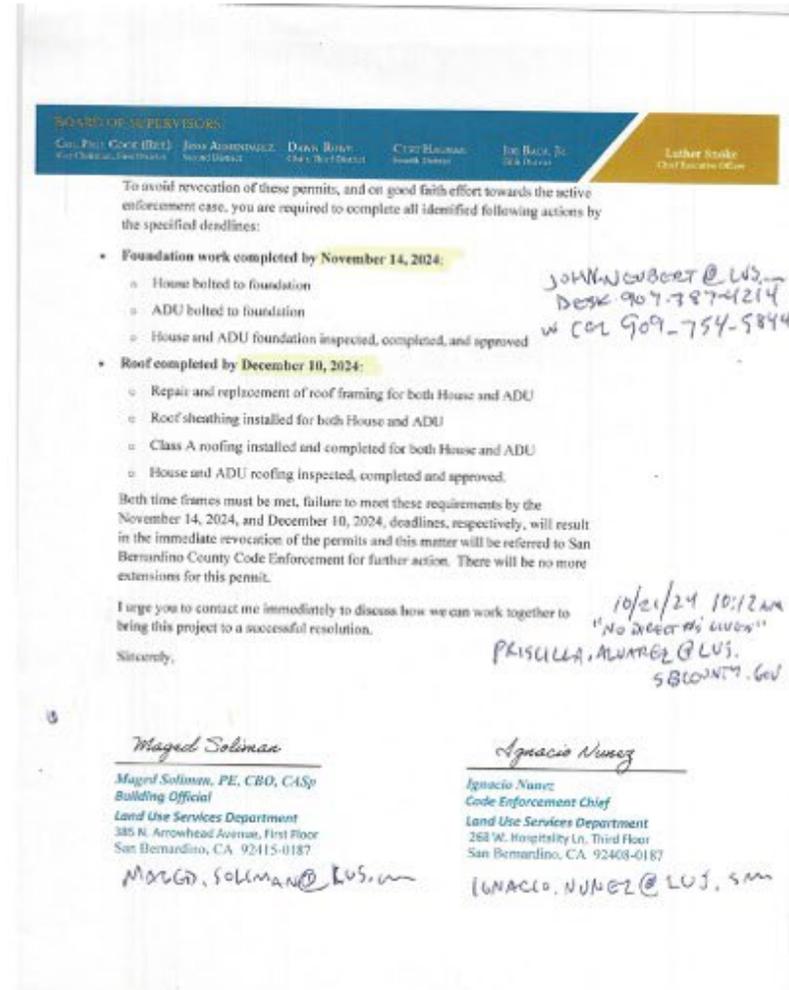
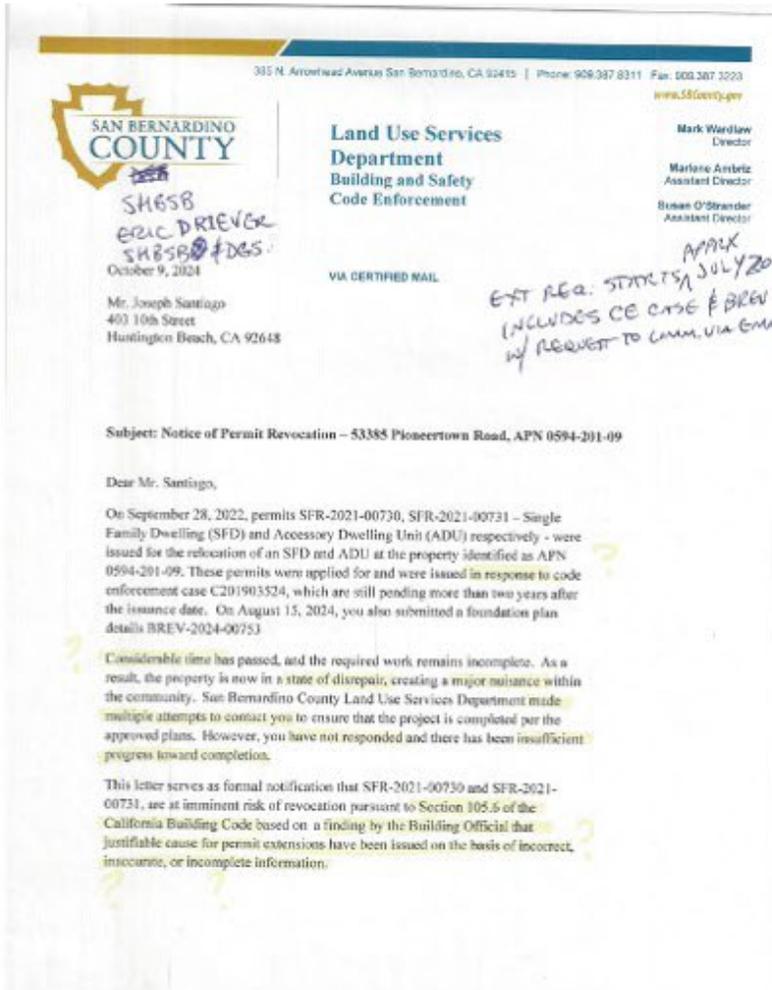


Joseph D Santiago, 714-206-1965, [graphicviolencedesn@yahoo.com](mailto:graphicviolencedesn@yahoo.com)



Feb 3, 2025

# Notice of Permit Revocation from Chief Building Official Maged Soliman 10-9-24



We will show this letter <sup>and this case</sup> to be primarily untrued and poorly researched. Most importantly, the letter is directing actions and/or orders which are unlawful.

J Santiago is seeking to restore permits for all 3 structures of the project, and restore lawful schedule as it pertains to regular and historic building codes.

“These permits were applied for and were issued in response to code enforcement case C201903524, which are still pending more than two years after the issuance date.”

**NOT  
TRUE.**

issued for the relocation of an SFD and ADU at the property identified as APN 0594-201-09. These permits were applied for and were issued in response to code enforcement case C201903524, which are still pending more than two years after the issuance date. On August 15, 2024, you also submitted a foundation plan details DPEV 2024 00752

# Result of original Administrative Hearing Case C201903524

Dismissed 2/21/20

San Bernardino County Code Enforcement  
C/O Citation Processing Center  
P.O. Box 11024  
Newport Beach, CA 92656

**RESULT OF  
ADMINISTRATIVE HEARING**

00002298 \*\*\* 4000000001 1/1 40771800

SANTIAGO, JOSEPH D  
403 10TH ST  
HUNTINGTON BEACH CA 92648-4503

Mailing Date: 2/21/2020  
Balance Due: -\$100.00

Citation: C190010080 Citation Date: 12/23/2019 Case Number: C201903524

Results:

Violation	Disposition	Adjudication Comments
11.0202 :Unlawful to Maintain	Dismissed	
82.02.020(b) :Permit or Approval Required	Dismissed	

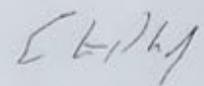
Thank you for your recent request for an Administrative Hearing.

The Hearing Examiner has conducted a hearing and the circumstances regarding the issuance of your citation have been carefully reviewed and considered and the results are shown above.

Appellant participated in the requested hearing and offered oral testimony or other evidence in support of his appeal. Based on all the testimony and evidence provided by Appellant and the County, the facts of record are not sufficient to uphold the Citation under governing law. Appellant established sufficiently for purposes here that the structure in question was subject to the State Historical Building Code (SHBC). The testifying officer advised that, based on his own research after the Citation was issued, that had the County been aware of the building's status and the SHBC's effect that more likely than not a citation would not have been issued. Therefore, for present purposes, the citation is hereby dismissed. However, this decision shall not prevent the County from undertaking future enforcement of any of its ordinances and the SHBC if warranted by future circumstances.

If you have paid the original bail on violations that have been dismissed, a refund is due and will be provided via US Mail within 2-4 weeks of the mail date of this letter.

Thank you,



HEARING EXAMINER

The case that B&S Staff cite as open was dismissed, all violations  
^  
Additionally, the result of this case confirms CHBC/SHBC code applies.

“...appellant established sufficiently for the purposes here that the structure in question was subject to the State Historical Building Code (CHBC/SHBC)... for present purposes, the citation is hereby dismissed.”

# Notice and Order to Repair 8/10/2021



172 W. 3<sup>rd</sup> Street, Fourth Floor, San Bernardino, CA 92415 | Phone: 909.884-4056 Fax: 909.387-0127

www.SBCounty.gov

Land Use Services Department  
Code Enforcement

Terri Rahhal  
Director

## NOTICE AND ORDER TO REPAIR

NATIONAL \$949  
\$1250 / 6 mos  
NEXT IVES, AUG 31 ST

VIA FIRST CLASS AND CERTIFIED MAIL

August 10, 2021

Santiago, Joseph  
403 10<sup>th</sup> St  
Huntington Beach, CA 92648

LEGAL NOTICE AND ORDER of the Code Official of the County of San Bernardino

RE: 53385 Pioneertown Rd., Pioneertown, CA 92268

CASE: C201903524

APN: 0594-201-09-0000

LEGAL DESCRIPTION: ASSESSORS MAP NO 13 LOT 146

Dear Property Owner(s):

The Code Official or designee has made an inspection of this property as authorized by Chapter 19 of Division 3 of Title 6 of the San Bernardino County Code, also known as the International Property Maintenance Code. This inspection was made on April 20, 2021. Using the following definitions from Section 108.1.5 of the International Property Maintenance Code, which states that for the "for the purposes of this code any structure, or premises that has any or all of the [following] conditions or defects...shall be considered dangerous, inspectors found and determined that the building(s) on your property meet the following conditions and are unsafe and/or dangerous.

**Section 108.1.5 Dangerous structure or premises, Number 4:** Any portion of a building, or any member, appurtenance or ornamentation of the exterior thereof that is not of sufficient strength or stability, or is not so anchored, attached or fastened in place so as to be capable of resisting natural or artificial loads of one and one half the original designed value.

Notice & Order to Repair APN: 0594-201-09  
August 11, 2021  
PAGE 2 of 3

Inspection records dating back to June 2020 and confirmed again during the April 20, 2021 inspection show that portions of a structure stored on the subject parcel remain unanchored to any foundation and are presently stored/balanced on box cribbing.

**Section 108.1.5 Dangerous structure or premises, Number 6:** The building or structure, or any portion thereof, is clearly unsafe for its use and occupancy.

The parts of the structure stored on this property remain unattached, open and abandoned, and unfit for occupancy.

**Section 108.1.5 Dangerous structure or premises, Number 7:** The building or structure is neglected, damaged, dilapidated, unsecured or abandoned so as to become an attractive nuisance to children who might play in the building or structure to their danger, becomes a harbor for vagrants, criminals or immoral persons, or enables persons to resort to the building or structure for committing a nuisance or an unlawful act.

The parts of the structure stored on this property remain open to access and present an attractive nuisance to children, vagrants, and the public at large.

**Section 108.1.5 Dangerous structure or premises, Number 11:** Any portion of a building remains on a site after the demolition or destruction of the building or structure or whenever any building or structure is abandoned so as to constitute such building or portion thereof as an attractive nuisance or hazard to the public.

The parts of the structure stored on this property remain open to access and are an attractive nuisance and hazard to the public.

On the basis of the findings of this inspection and under the provision of Sections 107 and 108 of the 2015 International Property Maintenance Code, I declare all the buildings on this property to be dangerous, and that these dangerous conditions constitute a threat to the life, health and safety of the public.

These dangerous conditions must be abated by repair, removal, or demolition. Before any repairs are begun, you must contact the Building & Safety Division of San Bernardino County Land Use Services Department to determine what permits will be necessary for the required repairs, if any. Failure to obtain necessary permits will result in the County continuing to view this building as dangerous or substandard even if repairs have been made. After repairs have been made, this property must be maintained in such a way so that the property will not constitute a public nuisance.

In order to comply with this Notice and Order you must satisfy the following timeline: (1) Immediately and within 30 days, secure the parts of the structure completely supported by box cribbing with security fencing to prevent any unauthorized access; (2) Submit required plans for required permits within 30 days of the date of this Notice and Order; (3) Obtain valid

Notice & Order to Repair APN: 0594-201-09  
August 11, 2021  
PAGE 3 of 3

result in one or more of the following:

- Our causing the buildings on the property to be demolished and charging that cost against the property.
- The issuance of administrative fines and/or civil penalties, for ongoing daily violations.
- Our petitioning the Court for the appointment of a receiver pursuant to State Housing Law.

Any person directly affected by this Notice and Order for the above referenced property may appeal this Notice and Order. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not fully apply, or the requirements of this code are adequately satisfied by other means. Such an appeal must be made in writing and filed with the Code Official within 20 days of the date of service, which is the day that this Notice and Order was mailed via certified mail. All appeals must comply with the requirements of County Code Section 63.3105 of Chapter 1, Division 3 of Title 6, a copy of which has been enclosed with this Notice and Order. Failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of this matter. If you choose to appeal this Notice and Order, you should read the attachment that explains the purpose and procedure of an appeal.

Lessors cannot retaliate against a lessee as described in Civil Code Section 1942.5.

Finally, Sections 17274 and 24436.5 of the California Revenue and Taxation Code provide, in part, that a taxpayer who derives rental income from housing determined by the local regulatory agency to be substandard by reason of violation of state or local codes dealing with health, safety, or building, cannot deduct from state personal income tax and bank and corporate income tax, deductions for interest, depreciation or losses attributable to such substandard structures where the substandard conditions are not corrected within six (6) months after notice of violation by the regulatory agency, in the same taxable year. The date of service of this Notice and Order marks the beginning of that six-month period. The County is required by law to notify the Franchise Tax Board of failure to comply with the code sections listed herein.

If you have any questions regarding this Notice and Order, please contact David Jorgenson at (909) 387-0115 or (909) 387-0118 or (909) 387-0119 through Friday, 8:00 a.m. to 5:00 p.m., except holidays, or in writing at County of San Bernardino, 172 W. 3<sup>rd</sup> St., Fourth Floor, San Bernardino, CA 92415.

Respectfully,

Julie Hernandez

Julie Hernandez, Interim Code Enforcement Chief  
Land Use Services Department  
Code Enforcement Division

Prior case was never closed; despite being dismissed. This new notice was issued using the same case number as prior.

The Notice and Order to Repair was immediately resolved.

### BOARD OF SUPERVISORS

Col. Paul Cook (Ret.) County Director	JANICE RUTHERFORD County Director	DANN BERRY Vice Chair, Board Director	CURT HAGMAN Chairman, Board Director	JAC RAGA, Jr. Vice Director	Leonard X. Hernandez County Executive Officer
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## Resolution of Notice and Order to Repair Email between Code Enforcement Supervisor Jorgenson & J Santiago 9/2/2021

-----Original Message-----

From: joseph santiago <[jgraphicviolencodesn@yahoo.com](mailto:jgraphicviolencodesn@yahoo.com)>  
Sent: Thursday, September 2, 2021 9:35 PM  
To: Jorgenson, David - LUS <[David.Jorgenson@lus.sbcounty.gov](mailto:David.Jorgenson@lus.sbcounty.gov)>  
Subject: Case #201903524, Santiago, P-Town Security Fence, Etc

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Hello Supervisor Jorgenson

Attached are 3 pics of the security fence installed at the 53385 Pioneer Town Rd site last week. Also, a bit over two weeks ago, I submitted the plan sets for all three proposed structures. Included were the very recent changes required by Planning to include locations of Joshua Trees and proximities to structures.

I would have sent this email to Julia Hernandez but her email is not included with her signature on the Notice and Order to Repair. If you could forward this to her and ask her to send me her email so I will be better able to communicate my progress I would appreciate it. Thank you.

Sincerely  
Joseph D. Santiago

Mr. Santiago -

Thank you for sending along the photos of the installed fencing, and for the update on your recent activities regarding this site.

Although Julia is our chief and signs the Notice and Order, she would not be the person to keep in contact with regarding your progress and compliance - that would be the regional Code Enforcement Supervisor, who until quite recently was me.

The area is now supervised by CES Paul Kleinsmith, so I have included him in this email and forwarded your previous email to him; he is well advised on the status of this case and will reach out to you if he has any questions or concerns.

Thank you, and good luck with the rest of your project.

David Jorgenson  
San Bernardino County Code Enforcement  
(909) 387-0115

-----Original Message-----

From: Joseph santiago <[jgraphicviolencodesn@yahoo.com](mailto:jgraphicviolencodesn@yahoo.com)>  
Sent: Thursday, September 2, 2021 9:35 PM  
To: Jorgenson, David - LUS <[David.Jorgenson@lus.sbcounty.gov](mailto:David.Jorgenson@lus.sbcounty.gov)>  
Subject: Case #201903524, Santiago, P-Town Security Fence, Etc

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

# On 9/2/2021 Supervisor Jorgenson sent confirmation email confirming resolution of Notice & Order to Repair.

CE Supervisor  
mentioned in email

# Supervisor Kleinsmith<sup>^</sup> raised no concern from then to date.

# This, too, should have closed the case.

“Considerable time has passed, and the required work remains incomplete. As a result, the property is now in a state of disrepair, creating a major nuisance within the community.”

**The “required work” constitutes the issues pertaining to the Notice and Order to Repair from 8/10/2021 date, all of which were addressed and resolved on 9/2/2021.**

Considerable time has passed, and the required work remains incomplete. As a result, the property is now in a state of disrepair, creating a major nuisance within the community. San Bernardino County Land Use Services Department made

“San Bernardino County Land Use Services Department made multiple attempts to contact you to ensure that the project is completed per the approved plans. However, you have not responded and there has been insufficient progress toward completion.”

the community. San Bernardino County Land Use Services Department made multiple attempts to contact you to ensure that the project is completed per the approved plans. However, you have not responded and there has been insufficient progress toward completion.

**J. Santiago received one, just one, Notice of Permit Revocation letter via certified mail dated October 9, 2024. No attempts were made by SB County via text, email, phone, or regular mail. My preferred contact method was and is text, which had been confirmed prior with SB County B&S officials.**

# Responses and Progress Toward Completion

Since 9-2-2021, J Santiago has completed:

- Survey and site placements for structures
- Environmental Consultation (Joshua Trees)
- Approved plans for Main House, ADU, and Garage (including septic ect)
- Rearrangement of Main House components
- Poured steel reinforced foundations
- Erected foundation block walls
- Reinforced cribbing and other stabilization measures
- Re-Installation of raised foundation/subfloor
- Paying and supervising multiple craftsmen and specialists for work above
- Passing multiple inspections without fail
- Multiple communications with Staff regarding inspections, extension, and BREV from 9/2021-present
- Final set down and stabilization of Main House components
- Partial reconstruction of roof structure
- Adherence to 180 day inspection schedule; including extension requested for BREV

All this and much more  
in spite of a deadly  
worldwide pandemic.

**Completed (5)**

Performed - 5

<p><b>Performed Residential New Inspection - On-Site (176797)</b> Result by: Jack Clarke on 03/17/2023 at 07:32 AM</p>	<a href="#">View Details</a>
<p><b>Performed Residential New Inspection - Virtual Inspection (159108)</b> Result by: SAMUEL PENA on 12/20/2022 at 05:54 PM</p>	<a href="#">View Details</a>
<p><b>Performed Residential New Inspection - On-Site (220177)</b> Result by: Jack Clarke on 01/26/2024 at 04:11 AM</p>	<a href="#">View Details</a>
<p><b>Performed Residential New Inspection - On-Site (224700)</b> Result by: Jack Clarke on 02/28/2024 at 01:12 AM</p>	<a href="#">View Details</a>
<p><b>Performed Residential New Inspection - On-Site (258372)</b> Result by: SAMUEL PENA on 11/07/2024 at 06:24 AM</p>	<a href="#">View Details</a>

“...justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.”

This letter serves as formal notification that SFR-2021-00730 and SFR-2021-00731, are at imminent risk of revocation pursuant to Section 105.6 of the California Building Code based on a finding by the Building Official that justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.

**All aspects of application for extension were guided specifically by building and safety staff.**

**Extension for BREV approval was applied for on 7/22/2024, BREV was approved on 8/15/2024.**

**Permits were open at least through late November 2024.**

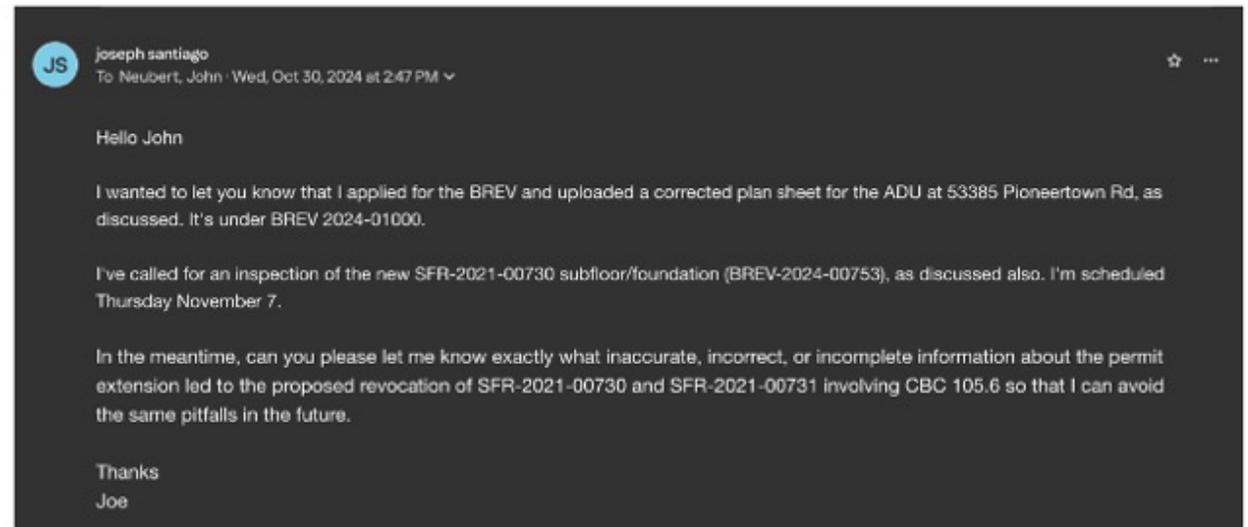
**Records have been <sup>locked out, possibly</sup> blanked from EZOP system. Revocation was backdated to mid-October, and all attachments have been wiped from system. This includes Staff confirmation of extension approval.**

**Staff has refused to divulge what was incorrect, inaccurate, or incomplete about extension request despite multiple requests for discovery. Initial attempt on 10/30/2024.**

“...justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.”

**Request for discovery of incorrect, inaccurate, or incomplete information. After a dozen similar inquiries, no response.**

This letter serves as formal notification that SFR-2021-00730 and SFR-2021-00731, are at imminent risk of revocation pursuant to Section 105.6 of the California Building Code based on a finding by the Building Official that justifiable cause for permit extensions have been issued on the basis of incorrect, inaccurate, or incomplete information.



First of emails, multiple other requests ignored.



## Counterpoints to Notice of Permit Revocation- continued

To avoid revocation of these permits, and on good faith effort towards the active enforcement case, you are required to complete all identified following actions by the specified deadlines:

- Foundation work completed by November 14, 2024:
  - House bolted to foundation
  - ADU bolted to foundation
  - House and ADU foundation inspected, completed, and approved
- Roof completed by December 10, 2024:
  - Repair and replacement of roof framing for both House and ADU
  - Roof sheathing installed for both House and ADU
  - Class A roofing installed and completed for both House and ADU
  - House and ADU roofing inspected, completed and approved.

Both time frames must be met, failure to meet these requirements by the November 14, 2024, and December 10, 2024, deadlines, respectively, will result in the immediate revocation of the permits and this matter will be referred to San Bernardino County Code Enforcement for further action. There will be no more extensions for this permit.

I urge you to contact me immediately to discuss how we can work together to bring this project to a successful resolution.

Sincerely,

JOHN NEWBERT @ LUS.  
DESK 909-387-4214  
W CEL 909-754-5844

10/21/24 10:12 AM  
"NO DIRECT #S GIVEN"  
PRISCILLA ALVAREZ @ LUS.  
S B COUNTY. GOV

**Schedule was created without regard to usual 180 day inspection schedule, extension request regimen, or requirements of the California Historic Building Code (CHBC/SHBC).**

**Schedule is therefore arbitrary and capricious, which makes it an unlawful order.**

**H & S  
18954.**

"...The building department of every city or county or other local agency that has jurisdiction over the enforcement of code within its legal authority shall apply the alternative standards and regulations adopted pursuant to Section 18959.5 in permitting repairs, alterations, and additions necessary for the preservation, restoration, rehabilitation, safety, moving, or continued use of a qualified historical building or structure."

**H & S  
18961.**

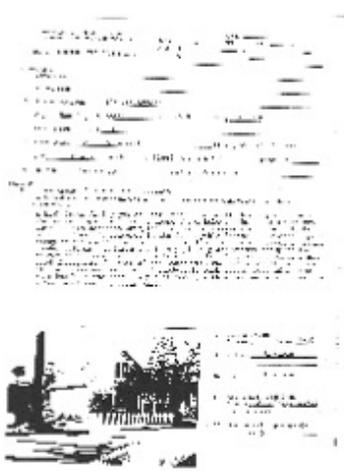
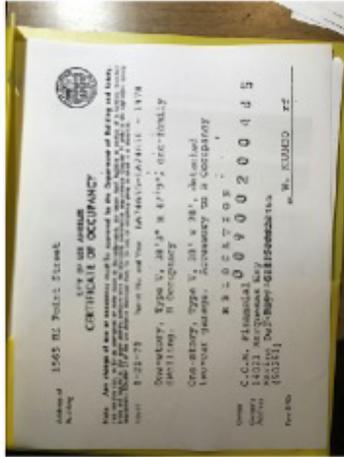
"...and shall consult with the State Historical Building Safety Board to obtain its review prior to undertaking action or making decisions on variances or appeals that affect qualified historical buildings or structures."

**SHALL = MUST!**

HEALTH AND SAFETY CODE - HSC  
DIVISION 13. HOUSING [17000 - 19997]  
( Division 13 enacted by Stats. 1939, Ch. 60. )

PART 2.7. STATE HISTORICAL BUILDING CODE [18950 - 18962]  
( Part 2.7 added by Stats. 1975, Ch. 906. )

# Historical Documentation



**In this case, the California Historic Building Code (CHBC/SHBC) applies.**

**Supporting documentation regarding eligibility and approval of these structures are attached.**

**Each of the permits, Main House, ADU, and Garage were approved on its historicity twice. Once in 2020, and again a second time in 2022. Due to staff errors, mistaking single family house for multiple manufactured home causing multiple delays months at a time.**

**Resolution of the code enforcement case C201903524 states that the CHBC/SHBC does apply.**

# One example of multiple B&S-caused delays

thread calling out another mistake

Staff apology for delay, one of multiple

MFGH-2022-00176 & MFGH-2022-00177

From: Campbell, Laura (laura.campbell@lus.sbcounty.gov)  
 To: Shannon.Griffith@lus.sbcounty.gov  
 Cc: graphicviolencedesn@yahoo.com  
 Date: Wednesday, March 8, 2023 at 03:58 PM PST

Joseph D. Santiago (714) 206-1965

APN 0594201090000

Wants to know why the permit was changed to a MFGH. These historical building were moved from one place to another. He is also stating the correct permit should be the SFR. He says they are wood framed house and ADU and does not belong in the MFGH category.

Thank you,

Thursday, March 9, 2023

Good Morning Joseph,

Per our office assistant Laura, I understand a text was preferred.

Both permits SFR-2021-00730 and 00731 have been restored back to "Issued" status. Apologies for any inconvenience or delay.

Please schedule your inspections under those two permit numbers when you are rea

11:21 AM

11:35 AM

Thank you, Shannon. Much appreciated

# B&S Staff lack of experience with and knowledge of historic projects and relevant codes is a primary cause of delay, second only to Covid pandemic.

Other info fails: Joshua Tree Survey, Garage Requirement, etc

Record Number	Record Type	Address	Description	Status	Related Records	Project Name	Date
BMSV-2024-01183	Building Miscellaneous	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	Wanting to appeal the decision to expire permits SFR-2021-00730, SFR-2021-00731, and ACCR-2020-00334	Open	0	Building Appeals Board Application	12/10/2024
BREV-2024-01080	Building Permit Revision	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	1st Revision to SFR-2021-00731-Add (E) Subfloor to Foundation Plan Detail (already approved for SFR-2021-00730)	Submitted	1	1st Revision to SFR-2021-00731	10/25/2024
BREV-2024-00753	Building Permit Revision	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	1ST REVISION TO SFR-2021-00730 Foundation Plan Details for Existing Historic Subfloor	Approved	1	1ST REVISION TO SFR-2021-00730	08/19/2024
MFGH-2022-00175	Manufactured Homes	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	RELOCATE SINGLE FAMILY RESIDENCE CF 1904 SQ FT LIVABLE (Detached ADU Submitted Under: MFGH-2022-00177 Detached Garage Submitted Under: ACCR-2020-00334)	Withdrawn	0	WITHDRAWN	10/17/2022
MFGH-2022-00176	Manufactured Homes	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	RELOCATE ADU OF 160 SQ FT (Single Family Residence Submitted Under: MFGH-2022-00176 Detached Garage Submitted Under: ACCR-2020-00334)	Withdrawn	0	WITHDRAWN/USE SFR-2021-00730	10/17/2022
MFGH-2022-00177	Manufactured Homes	53385 PIONEERTOWN RD, PIONEERTOWN CA 92268 United States	RELOCATE SINGLE FAMILY RESIDENCE CF 1804 SQ FT LIVABLE (Detached ADU Submitted Under: SFR-2021-00731 Detached Garage Submitted Under: ACCR-2020-00334)	Withdrawn	4	WITHDRAWN/USE SFR-2021-00731 FOR ADU	10/17/2022
CCP-2024-00755	Decorative Mass Construction	53385 PIONEERTOWN RD, PIONEERTOWN CA	RELOCATE SINGLE FAMILY RESIDENCE CF 1804 SQ FT LIVABLE (Detached ADU Submitted Under: SFR-2021-00731 Detached Garage Submitted Under: ACCR-2020-00334)	Enrolled	1	RELOCATE SINGLE FAMILY RESIDENCE	03/11/2024

One of multiple miscategorizing incidents ('20, '21, '22, '23)

**Not one SB County B&S or Code Enforcement Official has had any experience with the CHBC/SHBC prior to involvement in this project. All staff members made aware of the code and its requirements by this project no longer work for the county. There has been no consult with the State Historical Building Safety Board, or regard to the CHBC/SHBC in pursuing this action.**

”...and shall consult with the State Historical Building Safety Board to obtain its review **prior to undertaking action** or making decisions on variances or appeals that affect qualified historical buildings or structures.”

HEALTH AND SAFETY CODE - HSC  
DIVISION 13. HOUSING [17000 - 19997]  
( Division 13 enacted by Stats. 1939, Ch. 60. )

PART 2.7. STATE HISTORICAL BUILDING CODE [18950 - 18962]  
( Part 2.7 added by Stats. 1975, Ch. 906. )

# E-mail between J Santiago & Chief Building Official Maged Soliman

View Mail: 08-0187-Procurement-004-195-2023-0270-01-01 | <https://california.com/records/procurement/01870101-08-0187-Procurement-004-195-2023-0270-01-01> | <https://california.com/records/procurement/01870101-08-0187-Procurement-004-195-2023-0270-01-01> | <https://california.com/records/procurement/01870101-08-0187-Procurement-004-195-2023-0270-01-01>

From: Joseph Santiago <jsantiago@chbc.com>  
Sent: Friday, November 8, 2024 at 3:14 PM  
To: Maged Soliman <msoliman@chbc.com>, Maged Soliman <msoliman@chbc.com>  
Subject: 08-0187-Procurement-004-195-2023-0270-01-01

<https://california.com/records/procurement/01870101-08-0187-Procurement-004-195-2023-0270-01-01>

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you can confirm the sender and know the content is safe.

Hi to John and Maged  
Good to meet you both. Glad to get more clarity about Maged's letter. I used the email to confirm our current discussion points regarding the project.

Per your email:  
Yes, John said that were going to stick with the deadline dates of Maged's 12/04 letter. ADJ is completed as detailed below.

We both mentioned the ADJ part of the letter was decided by the County Board of Supervisors due to compliance with delay of work or progress. (As you said, we can't probably keep that between us.)

We mentioned ADJ CE section but we did not have a written agreement, resolved in my favor. No actual work is done. Open supervisory issues were not discussed, were resolved via. The issue clearly extension to the ADJ, as checked by multiple staff, is my only agenda, it is open.

We mentioned that we're neither of you have the California Historic Building Code (C-HBC) much less were familiar, both of you would at least get the code and

facilitate your efforts.  
Both of you made claims suggesting that out of county historic structure transfer isn't permitted. No codes were cited when asked. I was definitely told otherwise by both Dave Madsen and several other staff including Dave Jorgensen, Crystal Filstoff, et al. There are email threads with those three and others confirming acceptance of proof as well as issuance of all 3 permits twice.

Also, I stated that a structure's history follows it. Especially if the qualifications are primarily architectural. Documented proof for all 3 buildings was discussed, accepted and the project permitted. Discrepancy and inconsistency are typical and replacement is used to be typical as to foreign details on plans. The plans are not incorrect, inaccurate nor incomplete and Maged's letter confirms that. In the extension for the ADJ specified in the letter so none of that is a valid reason to revoke my permits.

Nevertheless, from my end:  
I will try to meet the deadlines you set, though as written they are logically impossible as we all discussed. You said exactly "just get the front pieces done. Show progress." I will do my best. I'm waiting on word from my house mover and other crew but it looks hopeful.

I will leave the ADJ in storage for now and concentrate on the Main House, as we agreed.

You said the ADJ should be expired but I've been told by staff many times (open ADJ permits confirm) that all three structures are completed/attached and all should update as individual inspections are passed, garage included.

I will contact SHESD as we agreed.

I will gather help you to look regarding history as we agreed. Email thread with Dave Jorgensen, Crystal Filstoff et al show acceptance of docs which are on E2DP under STR-2021-0270 et al. Attachments.

I will see you on November 14th to show progress on set down. Likely one. See!

positively both front pieces. As agreed, with noted concerns.

There was, of course, far more back and forth than that so as far as know I'll let out anything essential.

Thanks for meeting me and working with me to move this project to fruition.

Sincerely,  
Joseph D Santiago

1/4/4 | 1/27/24 1:27 PM | 1/27/24 1:27 PM

View Mail: 08-0187-Procurement-004-195-2023-0270-01-01 | <https://california.com/records/procurement/01870101-08-0187-Procurement-004-195-2023-0270-01-01>

NO: 13386 Provenance Road, 92711-2211-46208-01-01  
Re: Maged Soliman <msoliman@chbc.com>  
To: jsantiago@chbc.com, msoliman@chbc.com  
Date: Thursday, November 14, 2024 at 11:58 AM PST

Dear Maged, Joseph  
Thank you for meeting me and John at your site in Provenance last week.

Regarding the C-HBC, please clarify how your building(s) has been recognized as a historic resource. For example, is it listed in a qualified local register. Once we receive the documentation and confirm, we may evaluate under the C-HBC, if appropriate.

The date of the Historic Permit Amendment (last dated September 17, 2024) applies. We appreciate your efforts to comply. I would correct a misstatement in your email. Our actions were in response to community concerns of right of way and not board direction.

Please be advised that John Houser will be going to your site on November 15 between 10am and 12pm.

Thank you!  
**Maged Soliman, PE, CBO, CASS**  
Chief Building Official  
Lead Use Services Department  
Phone: (951) 387-4100  
380 N. Arroyo Road in front of the 7000  
San Clemente, CA 92683-4497



1/4/4 | 1/27/24 1:27 PM

## Emails confirm that Building & Safety staff were not aware of CHBC/SHBC or it's requirements until site visit 11/7/2024.

## Neither CHBC nor State Historic Board consulted prior to schedule or revocation. Therefore, actions taken are not lawful.

## Current Status/Site Conditions

**Structure is not in a state of disrepair, it is under restoration.  
A restoration only halted by this proceeding**



## Current Status/Site Conditions

**Structure is set down, righted, and stitched back together according To CHBC/SHBC. Further progress halted due to permit revocation.**



## Current Status/Site Conditions

**Main House is ready for final foundation inspection and less than 30 days away from final subfloor inspection.**



## Current Status/Site Conditions

**Restoration and stabilization work continues.**



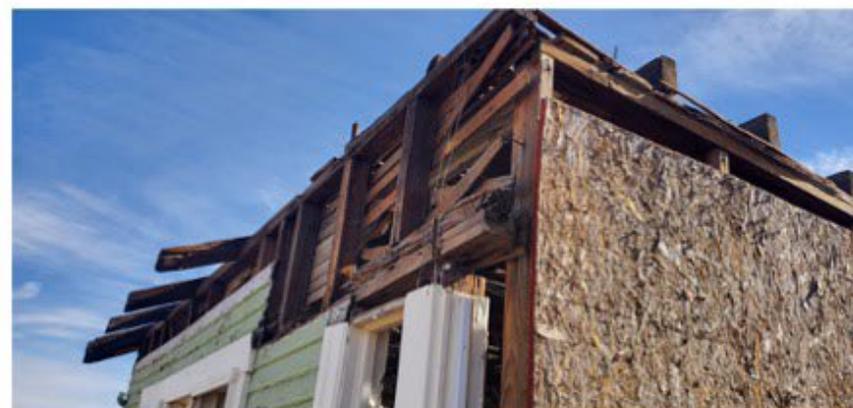
## Current Status/Site Conditions



**Replacement in-kind for historic materials is commonly accepted practice and part of code.**

(CHBC/SHBC) 8-105 – CONSTRUCTION METHODS AND MATERIALS

“8-105.1 Repairs. Repairs to any portion of a qualified historical building or property may be made in-kind with historic materials and the use of original or existing historic methods of construction, subject to conditions of this code.”



Relief sought

**Return of issued status for all 3 permits.**

**Maintain “1 pass, all pass” status.**

**Return to normal schedule (180 days on passing inspections).**

**Close Code Enforcement case #C201903524.**

**Thank you for your time and consideration.**

## Current Status / Site Conditions

Work halted for 90 days by unlawful B&S Staff Permit Revocation Action and unlawful B&S Board Hearing Action. Board says “No construction activity.” B&S Staff translates to “No construction, no activity.”– even stabilization and clean up. Structure remains open to further damage by the elements, new work/materials and old work/materials.

